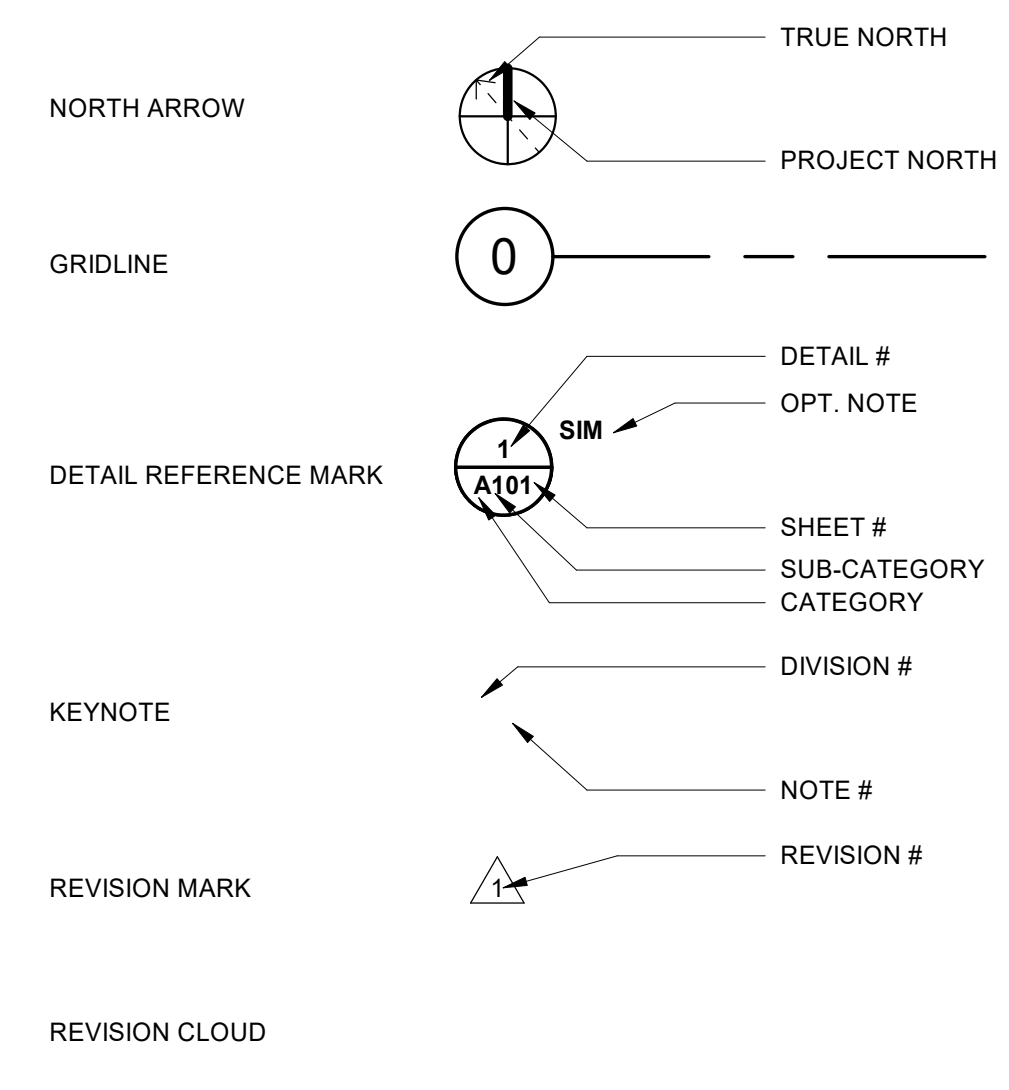


STANDARD ABBREVIATIONS

@	AT	EOP	EDGE OF PANEL	L	ANGLE	R	RADIUS
AB	ANCHOR BOLT	EP	EPOXY PAINT / EDGE OF PAVEMENT	LAM	LAMINATE	RAD	RADIUS
AC	ASPHALTIC CONCRETE	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	LAV	LAVATORY	RB	RUBBER BASE
ACI	AMERICAN CONCRETE INSTITUTE	EQ	EQUAL	LB	LAG BOLT	RBE	ROOF BASE ELEVATION
ADA	AMERICANS WITH DISABILITIES ACT	EQ	EQUAL	LL	LIVE LOAD	RCP	REFLECTED CEILING PLAN
ADDL	ADDITIONAL	ES	EACH SIDE	LLV	LONG LEG VERTICAL	RD	ROOF DRAIN
ADJ	ADJACENT/ ADJUSTABLE	ETC	EPOXY TRAFFIC COATING / ETCETERA	LONG / LONGIT	LONGITUDINAL	RECEPT	RECEPTIONIST
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	EW	EXPOSED STRUCTURE	LP	LOWPOINT	REF	REFERENCE / REFRIGERATOR
AFF	ABOVE FINISH FLOOR	EXP	EXPANSION JOINT	LSP	LAMINATED STRAND LUMBER	RENF	REINFORCING
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EXT	EXTERIOR	LVL	LAMINATED VENEER LUMBER	REQ / REQ'D	REQUIRED
AL / ALUM	ALUMINIUM	EXT	EXTERIOR	LWC	LIGHTWEIGHT CONCRETE	REV	REVISION
ALT	ALTERNATE	F/	FACE OF	M	MIRROR	RM	ROOM
APPROX	APPROXIMATE	FISTUD	FACE OF STUD	M/E/P	MECHANICAL/ELECTRICAL/PLUMBING OR PROCESS	RO	ROUGH OPENING
ARCH	ARCHITECT(URAL)	FB	FACE OF CURB	MANF	MANUFACTURER	ROW	RIGHT OF WAY
ATR	ALL-THREAD ROD	FC	FLOOR DRAIN	MAS	MASONRY	S	STAIN
B/	BOTTOM OF	FDC	FIRE DEPARTMENT CONNECTION	MATL	MATERIAL	SAT	SUSPENDED ACOUSTICAL TILE
BATT	BATTEN INSULATION	FE	FIRE EXTINGUISHER	MAX	MAXIMUM	SC	SEALED CONCRETE / SOLID CORE WOOD
BD	BOARD	FF	FACTORY FINISH / FINISHED FACE	MB	MACHINE BOLT	SCHED	SCHEDULE
BLD / BLDG	BUILDING	FFE	FINISH FLOOR ELEVATION	MDF/MDO	MEDIUM DENSITY FIBERBOARD / OVERLAY	SCM	STRUCTURAL CLAY MASONRY
BLK	BLOCK	FIN	FINISH(ED)	MECH	MECHANICAL	SF	STORE FRONT / SQUARE FEET
BLKG	BLOCKING	FL	FLOOR	MECH	MECHANICAL	SFRS	SEISMIC FORCE RESISTING SYSTEM
BM	BENCHMARK / BEAM	FLR	FLOOR	MD	MANUFACTURED	SHTG / SHTG'	SHEATHING
BN	BOUNDARY NAIL	FM	FACTORY MUTUAL	MFG	MANUFACTURING	SIM	SIMILAR
BOT / BOTT	BOTTOM	FN	FIELD NAILING	MFR	MANUFACTURER	SLRS	SEISMIC LOAD RESISTIVE SYSTEM
BRG	BEARING	FND	FOUNDATION	MGR	MANAGER	SLV	SHORT LEG VERTICAL
BSMT	BASEMENT	FOC	FACE OF CONCRETE	MH	MAN HOLE	SMS	SHEET METAL SCREW
BTWN	BETWEEN	FOF	FACE OF FINISH	MIN	MINIMUM	SOG	SLAB ON GRADE
BUR	BUILT UP ROOFING	FOIC	FURNISH BY OWNER INSTALL BY CONTRACTOR	MISC	MISCELLANEOUS	SP	SPACE(D)(S)
CAB	CABINET	FOM	FACE OF MASONRY	MK	MARK	SPEC(S)	SPECIFICATION(S)
CB	CATCH BASIN	FOS	FACE OF STUD	MO	MASONRY OPENING	SS	STAINLESS STEEL / SOLID SURFACE
CDF	CONTROLLED DENSITY FILL	FOW	FACE OF WALL	MOD BIT	MODIFIED BITUMINOUS	ST	STONE
CIP	CAST IRON	FS	FAR SIDE	MP	METAL PANEL	STA PT	STATION POINT
CJ	CONTROL JOINT	FT	FEET/FOOT FIRE TREATED FOOTING	MTL	METAL	STAGG	STAGGERED
CL / CL	CENTERLINE	FTG	FOOTING	(N)	NEW	STD	STANDARD
CLNG	CEILING	GA	GAUGE	NFPA	NATIONAL FIRE PROTECTION AGENCY	STIFF	STIFFENER
CLR	CLEAR	GALV	GALVANIZED	NIC	NOT IN CONTRACT	STL	STEEL
CMF	GENERAL	GEN	GENERAL	NO / #	NUMBER	STRUCT	STRUCTURAL
CMU	CONCRETE MASONRY UNIT	GLB	GLULAM BEAM	NOM	NOMINAL	SUSP	SUSPENDED
CNTR	CENTER	GLZ	GLAZING	NR	NON RATED	SV	SHEET VINYL
CO	CLEAN OUT	GR	GRADE	NS	NEAR SIDE	T	TEMPERED
COLUMN	COLUMN	GRD	GRADE ONLY	NTE	NOT TO EXCEED	T&B	TOP AND BOTTOM
CONC	CONCRETE	GSA	U.S. GENERAL SERVICES ADMINISTRATION	NTS	NOT TO SCALE	TOP	TOP OF
CONF	CONFERENCE	GYP BD	GYP SUM BOARD	O/A	OVERALL	TC	TOP OF CURB
CONN	CONNECTION	HB	HOSE BIB	OC	ON CENTER	TEMP	TEMPERATURE / TEMPORARY
CONN	CONNECTION	HC	HOLLOW CORE / HANDICAP	OFI	OWNER FURNISHED, CONTRACTOR INSTALLED	THK	THICK / THICKNESS
CONST	CONSTRUCTION	HCM	HOLLOW CLAY MASONRY	OFOI	OWNER FURNISHED, OWNER INSTALLED	TL	TOTAL LOAD
CONT	CONTINUOUS	HDR	HEADER	OH	OPPOSITE HAND	TN	TOE NAIL
CONTR	CONTRACTOR	HDR	HARDWARE	OH	OPPOSITE HAND	TO	TOP OF
COORD	COORDINATE	HGR	HANGER	OH	OVERHEAD DOOR	TOF	TOP OF FOOTING
CORR	CORRUGATED(ED) (ION)	HL	HALF LITE	OPNG	OPENING	TOS	TOP OF WALL
CPT	CARPET	HM	HOLLOW METAL	OPP	OPPOSITE	TOW	TOP OF WALL
CR	CHEMICAL RESISTANT COATING	HMK	HOLLOW METAL KNOCKDOWN	OSF / OFACE	OUTSIDE FACE	TPO	THERMOPLASTIC POLYOLEFIN
CSK	COUNTERSINK	HMW	HOLLOW METAL WELDED	OSSC	OREGON STRUCTURAL SPECIALTY CODE	TRANS / TRANSV	TRANSVERSE
CSP	CONCRETE SEWER PIPE	HR(S)	HOUR(S)	OTS	OPEN TO STRUCTURE	TS	TUBE STEEL
CTOP	COUNTERTOP	HS	HEADED STUD	P	PAINT	TYP	TYPICAL
CTR / CNTR	CENTER	HSB	HIGH STRENGTH BOLT	P-LAM	PLASTIC LAMINATE	UIS	UNDERSIDE
CW	CONCRETE WALL	HSS	HOLLOW STRUCTURAL STEEL	P.E.	PROFESSIONAL ENGINEER	UC	UNDER COUNTER
d	PENNY(NAILS)	HTG	HEATING	PB	PARTICLE BOARD	UL	UNDER WRITERS LABORATORIES
DBA	DEFORMED BAR ANCHOR	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	PDA / PAF	POWDER DRIVEN ANCHORS/POWDER ACTUATED FASTENER	UNO / UON	UNLESS NOTED OTHERWISE
DBL	DOUBLE	HWS	HEADED WELD STUD	PJ	PANEL JOINT	USG	UNITED STATES GYPSUM
DC	DEMAND CRITICAL WELD	IBC	INTERNATIONAL BUILDING CODE	PL / PL	PLATE	VCT	VINYL COMPOSITION TILE
DET / DTL	DETAIL	ID	INSIDE DIAMETER	PLB	PARALLAM BEAM	VERT	VERTICAL
DET/DTL	DETAIL	IE	INVERT ELEVATION	PLMB	PLUMBING	VEST	VESTIBULE
DF	DRINKING FOUNTAIN / DOUGLAS FIR	IF	INSIDE FACE	PLY / PLYWD	PLYWOOD	VFY	VERIFY
DIA / Ø	DIAMETER	IFC	INTERNATIONAL FIRE CODE	PNL	PANEL	VIF	VERIFY IN FIELD
DIAPH	DIAPHRAGM	IMC	INTERNATIONAL MECHANICAL CODE	PR	PAIR	VP	VISION PANEL
DIM	DIMENSION	INFO	INFORMATION	PS	POUR STRIP	W/	WITH
DL	DEAD LOAD	INSP	INSPECTION / INSPECTOR	PSF	POUNDS PER SQUARE FOOT	WGRC	COATING WITH CHEMICAL RESISTANCE
DN	DOWN	INSUL	INSULATION	PSI	POUNDS PER SQUARE INCH	W/O	WITHOUT
DP	DEEP	INT	INTERIOR	PSL	PARALLEL STRAND LUMBER	WB	WOOD BASE
DR	DOOR	IPC	INTERNATIONAL PLUMBING CODE	PT	PRESSURE TREATED / PORCELAIN TILE	WC	WATER CLOSET / WALL COVERING
DS	DOWN SPOUT	JNT	JOINT	PVC	POLY VINYL CHLORIDE	WD	WOOD
DWG	DRAWING	JST	JOIST	PVMT	PAVEMENT	WF	WIDE FLANGE BEAM
DWLS	DOWELS	K	KIPS	W	WATER RESISTANT GYPSUM BOARD	WH	WATER HEATER
(E) / EXIST	EXISTING	KSF	KIPS PER SQUARE FOOT	WR	WATER RESISTANT	WP	WATER PROOF / WOOD PANELING / WORK POINT
E/	EDGE OF	KSI	KIPS PER SQUARE INCH	WRB	WATER RESISTANT GYPSUM BOARD	WRF	WATER RESISTANT
EA	EACH			WS	WATER STOP / WELDED STUD	WRR	WELDED WIRE MESH
EF	EACH FACE			WWF	WELDED WIRE FABRIC		
EIFS	EXTERIOR INSULATION FINISH SYSTEM						
ELECT	ELECTRICAL						
ELEV	ELEVATION						
EN	EDGE NAIL						
ENGR	ENGINEER						

SYMBOLS AND REFERENCES



PROJECT GENERAL NOTES

- A. THE DRAWINGS LOCATE PRODUCTS, SURFACES, AND MATERIALS AND THE NOTES CONVEY DESIGN INTENT. THE PROJECT INTENT IS TO PROVIDE FOR A COMPLETE, WORKING SYSTEM.
- B. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED BUILDING CODE EDITION, AND TO CONDITIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES.
- C. VERIFY AND CONFIRM ALL CONDITIONS, DIMENSIONS, AND LAYOUT INFORMATION PRIOR TO START OF CONSTRUCTION. NOTIFY MACKENZIE OF ANY DISCREPANCIES PRIOR TO START OF WORK. ANY CORRECTION WORK REQUIRED AS A RESULT OF NOT REPORTING SUCH DISCREPANCIES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- D. CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS OF THE ENTIRE WORK. INCONSISTENCIES IN THE PLANS OR SPECIFICATIONS SHALL BE CALLED TO THE ATTENTION OF MACKENZIE.
- E. REFER TO ENLARGED PLANS AND ELEVATIONS WHERE INDICATED FOR ADDITIONAL INFORMATION. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE, AND DETAILS TAKE PRECEDENCE OVER PLANS. IN THE CASE OF A CONFLICT, THE HIGHEST COST OPTION SHOULD BE PRICED.
- F. DETAIL REFERENCES SHALL BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS OCCUR, UNLESS NOTED OTHERWISE.
- G. THE TERMS "ABOVE FINISH FLOOR" (AFF) AND "FINISH FLOOR ELEVATION" (FFE) REFER TO FINAL FINISHED FLOOR ELEVATION, WHETHER BUILT-UP SLAB, COMPOSITE DECK, OR RAISED ACCESS FLOOR.
- H. DO NOT SCALE DRAWINGS.
- I. CUTTING AND DRILLING OF STRUCTURAL MEMBERS NOT DETAILED REQUIRES THE WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.
- J. FINISH FLOOR ELEVATION OF 0'-0" = 262.5' AS INDICATED ON CIVIL DRAWINGS.
- K. SAVE AND RECYCLE DEMOLITION DEBRIS AS APPLICABLE. ALL DEMOLISHED OR REMOVED EXISTING MATERIAL SHALL BE LEGALLY DISPOSED. COORDINATE WITH THE CITY OF WILSONVILLE REQUIREMENTS FOR RECYCLING/RE-USE OF DEMOLITION DEBRIS.
- L. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR WORK. THE CONTRACTOR WILL COORDINATE CLEAN UP OF ALL AREAS AFFECTED BY DUST OR ANY MATERIALS, BOTH DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT, INCLUDING THE INSIDE OF ALL WINDOWS AS NECESSARY SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT.
- M. ALL DESIGN-BUILD ITEMS, SYSTEMS, AND ELEMENTS ARE TO BE SUBMITTED FOR REVIEW AND APPROVED BY MACKENZIE.
- N. EXISTING MATERIAL NOTED TO BE RETURNED TO THE OWNER SHALL BE SAFELY STORED AND PROTECTED UNTIL IT IS REMOVED FROM THE SITE BY THE OWNER.



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**PROJECT
GENERAL
NOTES,
SYMBOLS,
AND
ABBREVIATIONS**

DRAWN BY: ADG

CHECKED BY: SJM

SHEET

G0.02

JOB NO. **2200502.00**

LAND USE RESUBMITTAL 07/26/22

BUILDING INFORMATION

SITE AREA: SEE CIVIL
 BUILDING FOOTPRINT: 58,125 SF
 BUILDING AREA: 60,274 SF

BUILDING CODE DATA

BASED ON THE 2019 OREGON STRUCTURAL SPECIALTY CODE

GENERAL CODE ANALYSIS:

CONSTRUCTION TYPE: III-B, TWO STORIES

FIRE PROTECTION:

AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT (ESFR)
 BUILDING IS DESIGNED WITH AN ESFR SPRINKLERED SYSTEM FOR CLASS I-V NON ENCAPSULATED COMMODITIES PER NFPA 13. SEE FIRE PROTECTION SPECIFICATIONS. FIRE PUMP IS PROPOSED.

OCCUPANCIES:

B AND S-1
 - BASED ON NON SPERATED USE PER 508.3

AREA	GROSS SQUARE FEET
BUILDING	62,107 SF
FLOOR 1: WAREHOUSE	58,125 SF
FLOOR 2: STORAGE	2,149 SF
FUTURE STORAGE	(1,833 SF)

BUILDING HEIGHT AND STORIES (TABLES 504.3 AND 504.4):

ALLOWABLE: 60'-0" / 2 STORIES
 PROVIDED: 46'-6" / 2 STORIES

UNLIMITED AREA BUILDING (SEE SECTION 507.4):

THE BUILDING, TWO STORIES, FULLY SPRINKLERED, UNLIMITED AREA ALLOWED PER SECTION 507.4, SURROUNDED BY A BUFFER OF 60'-0" FEET OR MORE ON 4 SIDES.

BUILDING FIRE RESISTIVE REQUIREMENTS (SEE SECTION 601):

STRUCTURAL FRAME:	NR
BEARING WALLS - EXTERIOR:	NR
BEARING WALLS - INTERIOR:	NR
NON-BEARING WALLS - EXTERIOR:	NR
NON-BEARING WALLS - INTERIOR:	NR
FLOOR:	NR
ROOF:	NR
SHAFTS (707.3.1)	NONE
STAIRS (1018.1)	NONE
ELECTRICAL ROOM (Table 509)	NR
FIRE PUMP ROOM (913.2.1.1)	1-HR FIRE BARRIER

ELECTRICAL ROOM REQUIREMENTS PER 509 INCIDENTAL USES
 TABLE 509 ELECTRICAL INSTALLATIONS AND TRANSFORMERS REQUIREMENTS REFERENCES SEPARATION AND/OR PROTECTION PER ELECTRICAL CODE SECTIONS 110.26-110.34 AND 450.8-450.48.
 PER ELECTRICAL DRAWINGS TRANSFORMER VAULTS ARE LOCATED AT EXTERIOR AND NOT WITHIN THE ELECTRICAL ROOM.
 PER ELECTRICAL DRAWINGS DRY-TYPE TRANSFORMERS INSTALLED INDOORS ARE LESS THAN 112.5 KVA AND DOES NOT REQUIRE TO BE LOCATED IN A ROOM WITH RATED CONSTRUCTION PER OESC 450.21.A.

ELECTRICAL ROOM WILL NOT HOUSE BATTERY STORAGE

FIRE BARRIERS SHALL MEET ALL CONTINUITY REQUIREMENTS PER 707.5.

PENETRATIONS THROUGH FIRE BARRIER WALLS SHALL MEET ALL REQUIREMENTS PER SECTION 714 AS WELL AS FIRE RESISTANCE RATED WALLS TO MEET FIRE STOPPING PER SPECIFICATION 07.84.00.

FIRE BARRIERS SHALL MEET ALL DUCT AND AIR TRANSFER OPENING REQUIREMENTS PER 707.10

FIRE SEPARATION DISTANCE (TABLE 602):

III-B	NORTH	EAST	SOUTH	WEST
WAREHOUSE	100'	33'	104'	635'

• FULLY SPRINKLERED ESFR FIRE SYSTEM
 • PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED THROUGHOUT BASED ON 2019 OREGON FIRE CODE

DOORS (SECTION 1010)

RATED, SIZED, AND HARDWARE PROVIDED TO MEET SECTION 1010 - SEE INDIVIDUAL FLOOR PLANS AND SPECIFICATIONS.

• PROVIDE PANIC HARDWARE AT ELECTRICAL ROOM (1010.1.9)

MEANS OF EGRESS ILLUMINATION (SECTION 1008)

ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS IN ACCORDANCE WITH SECTION 1008.2. UNDER EMERGENCY POWER, MEANS OF EGRESS ILLUMINATION SHALL COMPLY WITH SECTION 1008.3.

FIRE PROTECTION - CHAPTER 9

BASED ON 2019 OREGON FIRE CODE
OFC SECTION 909.1

ROOMS CONTAINING CONTROLS FOR AIR CONTAINING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT.

SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATIONS TO BE APPROVED BY THE FIRE CODE OFFICIAL.

WHERE REQUIRED AND APPROVED BY THE FIRE CODE OFFICIAL UTILITIES ARE TO BE LEGIBLY MARKED TO IDENTIFY THE JANITOR SPACE IT SERVES.

PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS SHALL MEET ALL REQUIREMENTS PER SECTION 714 AS WELL AS FIRE RESISTANCE RATED WALLS TO MEET FIRE STOPPING PER SPECIFICATION 07.84.00

SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS
 FULLY SPRINKLERED NFPA-13 ESFR FIRE SYSTEM

SECTION 906 PORTABLE FIRE EXTINGUISHERS
 PROVIDE 10 FIRE EXTINGUISHERS WITH RATINGS OF NOT LESS THAN 2-A:10-B:C FOR EACH 3,000 SF OF FLOOR AREA. TRAVEL FROM ANY PORTION OF BUILDING NOT TO EXCEED 75'. FIRE EXTINGUISHERS LOCATED WITH OFFICE AREA TO BE SEMI-RECESSED CABINETS.

OFC APPENDIX D FIRE APPARATUS ACCESS ROADS
 SEE SHEET C1.00 FOR AERIAL FIRE APPARATUS ACCESS.

OFC CHAPTER 32 - HIGH-PILED COMBUSTIBLE STORAGE
 BUILDING IS DESIGNED TO ACCOMMODATE HIGH-PILED STORAGE TYPE I/IV UNENCAPSULATED COMMODITIES UP TO 36' HIGH-PILED STORAGE PER OFC TABLE 3206.2

• AN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED IN ACCORDANCE WITH OFC SECTION 3206.4

• FIRE DETECTION SYSTEM IS NOT REQUIRED PER TABLE 3206.2

• BUILDING ACCESS IS PROVIDED PER OFC SECTION 3206.6

• SMOKE AND HEAT REMOVAL IS REQUIRED PER TABLE 3206.6

• FOOTNOTE I: AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED IN ACCORDANCE WITH OFC 3207 AND 3209

• MAX PILE DIMENSIONS - 120' LONG x 40' HIGH

• MAX PILE VOLUME - 400,000 CUBIC FEET

MEANS OF EGRESS

SECTION 1008 - MEANS OF EGRESS ILLUMINATION

• PROVIDE MEANS OF EGRESS ILLUMINATION AT A MINIMUM OF ONE FOOT CANDLE AT PATH OF EGRESS TO MEET SECTION 1008. EXTEND 5'-0" OUTSIDE EGRESS DOORS.

• WAREHOUSE OFFICE PROVIDE EMERGENCY POWER FOR MIN 90 MINUTES (BATTERY BACK-UP)

• AVERAGE INITIAL ILLUMINATION OF 1 FOOT-CANDLE(11 LUX)

• MAXIMUM UNIFORMITY RATIO OF 40:1

• SEE FLOOR PLANS FOR PATH

SECTION 1010 - DOORS, GATES AND TURNSTILES

• EXTERIOR DOORS SIZED AND HARDWARE PROVIDED TO MEET SECTION. SEE FLOOR PLAN AND DOOR HARDWARE. ALL DOOR HARDWARE TO COMPLY WITH ADA REQUIREMENTS. SEE SPECS.

• THRESHOLDS TO COMPLY WITH 1010.1.7

• HARDWARE ON DOORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH 1008.1.9.1

• HARDWARE HEIGHT TO COMPLY WITH 1010.1.9.2

• LOCKS AND LATCHES TO COMPLY 1010.1.9.4

• BOLT LOCKS ARE NOT PERMITTED UNLESS MEETING 1010.1.9.5 EXCEPTIONS

• THE UNLATCHING OF ANY DOOR OR LEAF SHALL COMPLY 1010.1.9.6

SECTION 1013 - EXIT SIGNS

• PROVIDE EXIT SIGNAGE TO MEET SECTION 1013.1.

SECTION 1028 - EXIT DISCHARGE

• ALL EXITS DISCHARGE AT GROUND LEVEL

CODE PLAN - SECOND FLOOR

1" = 10'-0"

GENERAL NOTES

A. THIS SHEET IS MEANT FOR CODE REVIEW PURPOSES ONLY.

B. SEE SHEET A1.10 FOR ADDITIONAL PLAN INFORMATION.

C. EMERGENCY LIGHTING ALONG THE EGRESS PATH SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL AT ALL POINTS ALONG THE EGRESS PATH. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40:1 SHALL NOT BE EXCEEDED TO MEET ALL REQUIREMENTS OF SECTION 1008.

D. SECTION 1010.1.1 REQUIRES A CLEAR DOOR WIDTH OF 32". ALL PROVIDED DOORS COMPLY.

GOVERNING CODES

2019 OREGON STRUCTURAL SPECIALTY CODE
 2021 OREGON ENERGY EFFICIENCY CODE
 2019 OREGON MECHANICAL SPECIALTY CODE
 2021 OREGON ELECTRICAL SPECIALTY CODE
 2021 OREGON PLUMBING SPECIALTY CODE
 2019 OREGON FIRE CODE
 ICC A117.1-2009 ACCESSIBILITY

LEGEND

DOCK HIGH OVERHEAD DOOR

DRIVE IN OVERHEAD DOOR

FIRE EXTINGUISHER LOCATION (75' CLEARANCE RADIUS)

EXITS

FIRE ACCESS DOOR

PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS PER THESE LOCATIONS

MAXIMUM TRAVEL DISTANCE

WALL TYPES

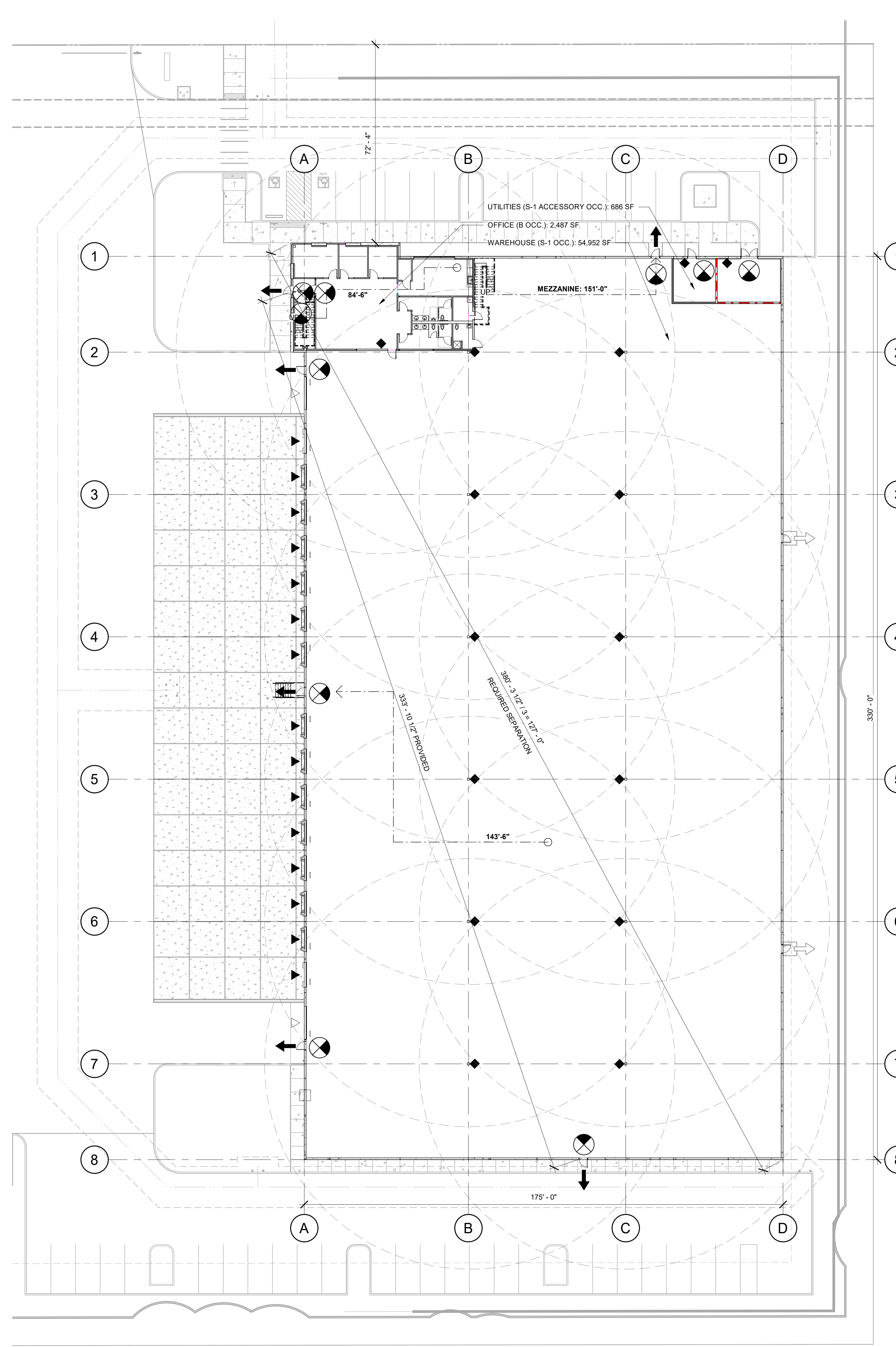
CONCRETE TILT PANEL - SEE STRUCTURAL ELEVATIONS FOR THICKNESSES

1HR RATED WALL PER 11/A5.20

FULL HEIGHT WALL PER 12/A5.20

STICK-PIN INSULATION 10/A5.20

INTERIOR PARTITION PER 13/A5/A5.20



CODE PLAN - FIRST FLOOR

1" = 20'-0"

USE	OCCUPANCY				WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS			
	OCCUPANCY TYPE	LOAD FACTOR 1004.1.2	AREA	OCCUPANCY LOAD	RATIO	MEN'S WATER CLOSETS	WOMEN'S WATER CLOSETS	UNISEX WATER CLOSETS	RATIO	MEN'S LAVATORIES	WOMEN'S LAVATORIES	UNISEX LAVATORIES	RATIO	RATIO
OFFICE	B		2,443.00	60	1 PER 25 ≤ 50, 1 PER 50 REMAINDER	1.20	1.20	-	1 PER 40 ≤ 80, 1 PER 80 REMAINDER	0.75	0.75	-	-	N/A
OFFICE (150LOAD FACTOR)		150	1,693.00	12										
OFFICE (15 LOAD FACTOR)		15	590.00	40										
STORAGE	S-1		2,149.00	8										
WAREHOUSE	S-1		55,682.00	112	1 PER 100	0.56	0.56	-	1 PER 100	0.56	0.56	-	-	N/A
SUBTOTALS						1.76	1.76	-		1.31	1.31	-	-	-
REQUIRED TOTALS			60,274.00			2	2	-		2	2	-	-	-
PROVIDED						2	2	1		2	2	1		

CODE SECTION	OCCUPANCY				1005			1006.2.1		1006.2.1		1017		1006	
	OCCUPANCY TYPE (CHAP. 3)	LOAD FACTOR 1004.1.2	AREA	OCCUPANT LOAD (1004.1.1)	EGRESS WIDTH FACTOR	EGRESS WIDTH	WIDTH PROVIDED	COMMON PATH REQUIRED	COMMON PATH PROVIDED	MIN. EXIT DISTANCE	EXIT DISTANCE PROVIDED	MAX TRAVEL DISTANCE	TRAVEL DISTANCE PROVIDED	EXITS REQUIRED	EXITS PROVIDED
BUSINESS AREAS	B	150	1,853	13	0.2	3"		100'-0"	44'-0"	32'-4"	64'-8"			1	2
100 VESTIBULE			100									200'-0"	84'-6"		
101 OPEN OFFICE			1,040												
107 WOMENS			175												
106 MENS			175												
108 JAN.			55												
109 W/C			58												
103 OFFICE			125												
104 OFFICE			125												
UNCONCENTRATED	B	15	590	40	0.2	8"		100'-0"	44'-0"	N/A	N/A			1	1
105 BREAK			315												
105A DATA			40												
102 CONFERENCE			235												
WAREHOUSE	S-1	500	54,985	110	0.2	22"		100'-0"	N/A	211'-4"		250'-0"	143'-6"	2	5
001 WAREHOUSE			54,985												
STORAGE	S-1	300	2,846	10	0.2	2"		100'-0"	N/A	211'-4"		250'-0"	151'-0"	2	2
002 ELECTRICAL			280												
005 FIRE PUMP			417												
200 STORAGE			2,149												
BUILDING TOTAL			60,274	163		33"	216"								

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REVISION SCHEDULE

Delta	Issued As	Issue Date
A	REV 1	7/26/22

SHEET TITLE:
CODE ANALYSIS

DRAWN BY: ADG
 CHECKED BY: SJM
 SHEET

G1.10

JOB NO. **2200502.00**

Project Information

Energy Code: 90.1 (2019) Standard
 Project Title: Delta Logistics - Wilsonville
 Location: Wilsonville, Oregon
 Climate Zone: 4C
 Project Type: New Construction
 Vertical Glazing / Wall Area: 5%
 Performance Sim. Specs: EnergyPlus 8.1.0.009 (EPW: USA_OR_Portland.IntLAP.726980_TMY3.epw)

Construction Site: 9110 SW Day Road, Wilsonville, Oregon 97070
 Owner/Agent: Igor Nishporenko, Delta Logistics, 9835 SW Commerce Circle, Wilsonville, Oregon 97070, 503-640-2220, igor@deltagov.com
 Designer/Contractor: Adem Goldberg, Mackenzie, 1313 SE Water Ave, Suite 100, Portland, Oregon 97214, 847648212, agoldberg@macknze.com

Building Area	Floor Area
1-Warehouse - Semi-detached	55682
2-Office - Nonresidential	2443

Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof: Insulation Entirely Above Deck, (Bldg. Use 1 - Warehouse)	55682	—	20.0	0.048	0.093
Siding: Metal Frame, Plastic, with Curb, Perf. Specs., Product ID N/A, SHGC 0.35, VT 0.64, (Bldg. Use 1 - Warehouse) (b)	576	—	—	0.450	0.750
Roof: Insulation Entirely Above Deck, (Bldg. Use 2 - Office)	2443	—	20.0	0.048	0.032
OFFICE SLAB: Unheated Slab-On-Grade, (Bldg. Use 2 - Office) (c)	112	—	—	0.730	0.520
WAREHOUSE SLAB: Unheated Slab-On-Grade, (Bldg. Use 1 - Warehouse) (c)	911	—	—	0.730	0.730
NORTH					
TILT WALL - (furring at office) NORTH: Solid Concrete, 12in. Thickness, Normal Density, Furring: Metal, (Bldg. Use 2 - Office)	584	13.0	0.0	0.138	0.104
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 2 - Office) (b)	140	—	—	0.450	0.360
TILT WALL - (stickpin at office) Solid Concrete, 10in. Thickness, Normal Density, Furring: None, (Bldg. Use 2 - Office)	952	—	13.0	0.087	0.104
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 2 - Office) (b)	224	—	—	0.450	0.360
TILT WALL - NORTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 1 - Warehouse)	2637	—	0.0	0.740	0.580
Man Door: Insulated Metal, Swinging, (Bldg. Use 1 - Warehouse)	21	—	—	0.130	0.370
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 1 - Warehouse) (b)	315	—	—	0.450	0.500
TILT WALL - (furring at office) NORTH: Solid Concrete, Bin.	295	13.0	0.0	0.142	0.104

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Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Thickness, Normal Density, Furring: Metal, (Bldg. Use 2 - Office)	97	—	—	0.450	0.360
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 2 - Office) (b)	706	—	13.0	0.088	0.104
TILT WALL - (stickpin at office) NORTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 2 - Office)	105	—	—	0.450	0.360
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 2 - Office) (b)	453	13.0	0.0	0.142	0.580
TILT WALL - (furring at riser) NORTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: Metal, (Bldg. Use 1 - Warehouse)	63	—	—	0.130	0.370
Door: Insulated Metal, Swinging, (Bldg. Use 1 - Warehouse)	1037	—	13.0	0.068	0.580
Ext. Wall: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 1 - Warehouse)	160	13.0	0.0	0.142	0.580
EAST					
TILT WALL (furring at riser) - EAST: Solid Concrete, Bin. Thickness, Normal Density, Furring: Metal, (Bldg. Use 1 - Warehouse)	429	—	13.0	0.068	0.580
TILT WALL (stickpin at riser) - EAST: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 1 - Warehouse)	11516	—	0.0	0.740	0.580
TILT WALL - EAST: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 1 - Warehouse)	42	—	—	0.130	0.370
Man Door: Insulated Metal, Swinging, (Bldg. Use 1 - Warehouse)	6071	—	0.0	0.740	0.580
SOUTH					
TILT WALL - SOUTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 1 - Warehouse)	21	—	—	0.130	0.370
Man Door: Insulated Metal, Swinging, (Bldg. Use 1 - Warehouse)	525	—	—	0.450	0.500
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 1 - Warehouse) (b)	9747	—	0.0	0.740	0.580
WEST					
TILT WALL - WEST: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, (Bldg. Use 1 - Warehouse)	148	—	—	0.450	0.500
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 1 - Warehouse) (b)	63	—	—	0.130	0.370
Man Door: Insulated Metal, Swinging, (Bldg. Use 1 - Warehouse)	1686	—	—	0.130	0.360
Roll-Up Door: Insulated Metal, Non-Swinging, (Bldg. Use 1 - Warehouse)	438	13.0	0.0	0.138	0.104
TILT WALL - (furring office) WEST: Solid Concrete, 12in. Thickness, Normal Density, Furring: Metal, (Bldg. Use 2 - Office)	141	—	—	0.450	0.360
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 2 - Office) (b)	1006	—	13.0	0.067	0.104
TILT WALL - (stickpin at office) WEST: Solid Concrete, 10in. Thickness, Normal Density, Furring: None, (Bldg. Use 2 - Office)	225	—	—	0.450	0.360
Window: Metal Frame: Fixed, Perf. Specs., Product ID N/A, SHGC 0.40, VT 0.50, (Bldg. Use 2 - Office) (b)					

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
 (b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
 (c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

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Envelope PASSED: Design 3% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2019) Standard requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title	Signature	Date

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Architecture - Interiors
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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
ENERGY CODE COMPLIANCE

DRAWN BY: ADG
 CHECKED BY: SJM
 SHEET

G1.11

JOB NO. **2200502.00**

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION
2. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION
3. CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
4. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES
5. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
6. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT
7. CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY
8. CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT

SITE DEMOLITION NOTES

1. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC
2. INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY DEMOLITION ACTIVITIES
3. MITIGATE DUST POLLUTION DUE TO DEMOLITION ACTIVITIES
4. PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND OTHER ELEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL. ANY DAMAGE TO EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE
5. DO NOT BEGIN REMOVAL UNTIL ITEMS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED AS NOTED. IF REMOVED GRAVEL OR PAVEMENT MATERIALS ARE TO BE RECYCLED OR REUSED, PREVENT CONTAMINATION OF THESE MATERIALS FROM TOPSOIL OR OTHER DELETERIOUS MATERIAL
6. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH AFFECTED UTILITY COMPANIES, OBTAIN ALL REQUIRED PERMITS, NOTIFY THEM PRIOR TO STARTING WORK, AND COMPLY WITH THEIR REQUIREMENTS. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID. ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED AND ACTIVE UTILITIES FOR AS-BUILT PURPOSES AND SUPPLY TO OWNER AND ARCHITECT/ENGINEER OF RECORD
7. DEMOLISH AND REMOVE ALL NON-BUILDING SITE STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES) AS SHOWN. WITHIN AREA OF NEW CONSTRUCTION, REMOVE DESIGNATED WALLS AND FOOTINGS TO 2 FEET MINIMUM BELOW FINISHED GRADE. DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE
8. ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES)
9. IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, STOP WORK AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF RECORD

GRADING NOTES

1. **ROUGH GRADING:** ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS
2. **FINISH GRADING:** BRING ALL FINISH GRADES TO LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES
3. **EXCAVATION:** EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
4. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL
5. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL
6. SITE TOPSOIL STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT
7. CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION
8. ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS
9. PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (0.33% FOR DESIGNATED RAMPS)

UTILITY NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION
2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
3. NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS PER DETAIL 1CS.10 AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13)
4. ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED
5. ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE
6. IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS
7. PREFABRICATED PLUMBING PRODUCTS USED SHALL BE LISTED ON THE IAPMO R&T PRODUCT LISTING DIRECTORY (pld.iapmo.org). ALL SUBMITTALS FOR REVIEW SHALL BE ACCOMPANIED BY MANUFACTURER'S LITERATURE CLEARLY STATING THIS CERTIFICATION AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE
8. IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE LANDSCAPE PLANS AND SPECIFICATIONS
9. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING
10. CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE
11. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES
12. CONTRACTOR SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS
13. PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. - WATER TIGHT, MINIMUM/MAXIMUM BURIAL, PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCT'S CONFORMANCE TO PROJECT SPECIFICATIONS AND GENERAL EXPECTATIONS
14. PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
15. MANHOLE RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES/ETC TO THE SLOPES OF THE SITE GRADING
16. MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20 TRAFFIC RATED

EROSION CONTROL NOTES

1. HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE LOCAL AGENCY INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS
2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING APPROPRIATE NON-STORMWATER POLLUTION CONTROLS
3. THE EROSION CONTROL DRAWING IS FOR GENERAL GUIDANCE ONLY. THE CONTRACTOR SHALL KEEP THE PLAN CURRENT FOR ALL PHASES OF CONSTRUCTION AND MEET EROSION/SEDIMENT CONTROL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION (AHJ). ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE AHJ, THE PLANS, AND THE PROJECT SPECIFICATIONS
4. CONSTRUCT EROSION CONTROL IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS
5. METHOD OF INSTALLATION FOR SEDIMENT FENCE SHALL NOT CAUSE DAMAGE TO VEGETATED SLOPE EXCEPT AT POINT OF INSTALLATION. SIDECAST MATERIAL SHALL BE KEPT TO A MINIMUM AND SHALL BE TO THE UPHILL SIDE OF THE SEDIMENT FENCE. THE FENCE SHALL BE INSTALLED AT LEAST 4 FEET FROM ADJACENT TREES
6. ALL EROSION CONTROL DEVICES SHALL BE EXAMINED AND REPAIRED AFTER EACH STORM OCCURRENCE, AND INLETS SHALL BE CLEANED OF SEDIMENT WHENEVER NECESSARY
7. HYDROSEED AND MULCH ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE AUTHORITIES HAVING JURISDICTION
8. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PAVED AREAS TO PREVENT AND MINIMIZE SEDIMENT TRACKING OFF-SITE. CONTRACTOR SHALL SWEEP OR VACUUM PAVED AREAS IF SEDIMENT ACCUMULATION OCCURS. DO NOT TRACK SEDIMENT TO THE PUBLIC STREET OR NEIGHBORING PROPERTIES
9. INSTALL TEMPORARY EROSION PREVENTION SUCH AS JUTE NETTING OR GEOTEXTILE ON DISTURBED AREAS STEEPER THAN 4H:1V
10. STAGING AND STOCKPILE AREAS TO BE DETERMINED BY CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION

SITE WORK NOTES

1. ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE
2. STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1011.5)
3. WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015)
4. PAVEMENTS WITH DEPRESSIONS OR BIRD BATHS, UNCONTROLLED CRACKS WHICH ARE VISIBLE WITHOUT MAGNIFICATION, AND/OR BONY OR OPEN GRADED SURFACES (EXCEPTING POROUS PAVEMENTS) WILL BE CONSIDERED UNACCEPTABLE. CONTRACTOR SHALL REVIEW PAVEMENT REPAIR OR REPLACEMENT ALTERNATIVES WITH THE OWNER AND ENGINEER PRIOR TO CONDUCTING THE REPAIR WORK

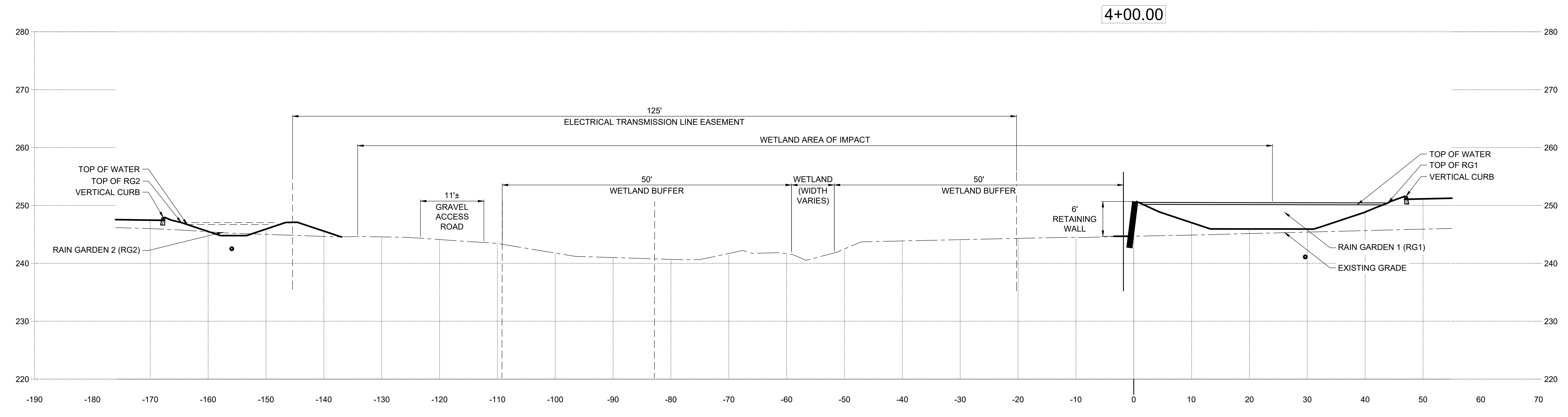
LEGEND

	EXISTING	PROPOSED
ROW LINE		
BRUSH LINE		
BUILDING EAVE		
BUILDING FOOTPRINT		
CENTERLINE		
EASEMENT LINE		
FENCE LINE		
GAS LINE		
OVERHEAD POWER		
SANITARY LINE		
STORM DRAIN LINE		
TAX LOT LINE		
WATER LINE		
DOMESTIC WATER LINE		
FIRE WATER LINE (PRIVATE)		
FIRE WATER LINE (PUBLIC)		
WETLANDS AOI		
WETLANDS BUFFER		
SROZ BOUNDARY		
CULVERT INVERT		
CURB INLET		
DECORATIVE SHRUB		
DOWNSPOUT		
CATCH BASIN		
FIRE HYDRANT		
GAS METER		
GAS RISER		
GATE POST		
GUY ANCHOR		
MAILBOX		
MANHOLE		
POWER METER		
SIGN "AS NOTED"		
SITE BENCHMARK		
STORM DRAIN MANHOLE		
SURVEY MONUMENTS FOUND		
SURVEY MONUMENTS SET		
UTILITY LID		
WATER METER		
WATER RISE		
WATER VALVE		
WATER VAULT		
FDC		
WETLANDS BUFFER/ LINE STAKES		
POWER POLE		
SDEWALK		
TREE		
WETLAND AREA		
RAIN GARDEN		

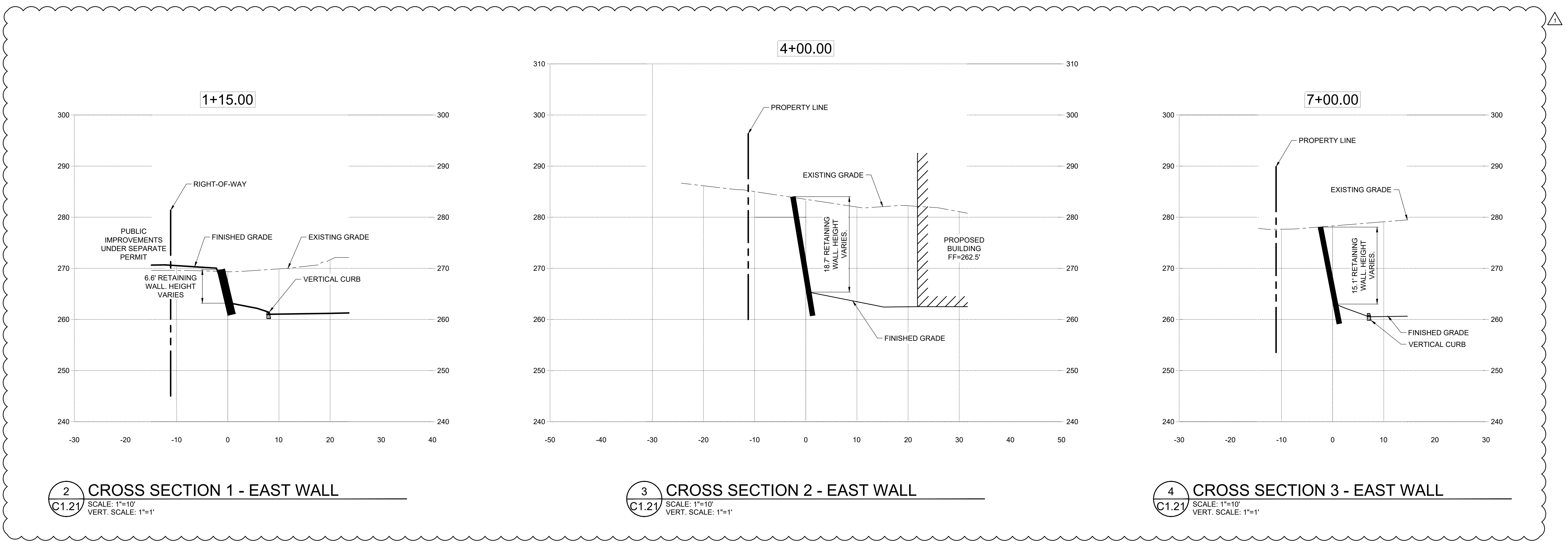
ABBREVIATIONS

TC	TOP OF CURB	WM	WATER METER
AC	ASPHALT	OH	OVERHEAD WIRE
FH	FIRE HYDRANT	SSWR	SANITARY SEWER
FG	FINISHED GRADE	MH	MANHOLE
SW	SIDEWALK ELEVATION	IE	INVERT ELEVATION
TS	TOP OF STAIR	CB	CATCH BASIN
BS	BOTTOM OF STAIR	STM	STORM
TYP	TYPICAL	RD	ROOF DRAIN
R.O.W.	RIGHT OF WAY	FF/FFE	FINISHED FLOOR ELEVATION
LS	LANDSCAPE	NG	NATURAL GROUND
SROZ	SIGNIFICANT RESOURCE OVERLAY ZONE	CL	CENTERLINE
CO	CLEAN OUT	GPM	GALLONS PER MINUTE
INV	INVERT	FW	FIRE WATER
RD	ROOF DRAIN	PWS	PUBLIC WORKS STANDARDS
COW	CITY OF WILSONVILLE	PUE	PUBLIC UTILITY EASEMENT
AOI	AREA OF IMPACT	ELEV	ELEVATION

REVISION SCHEDULE		
Delta	Issued As	Issue Date



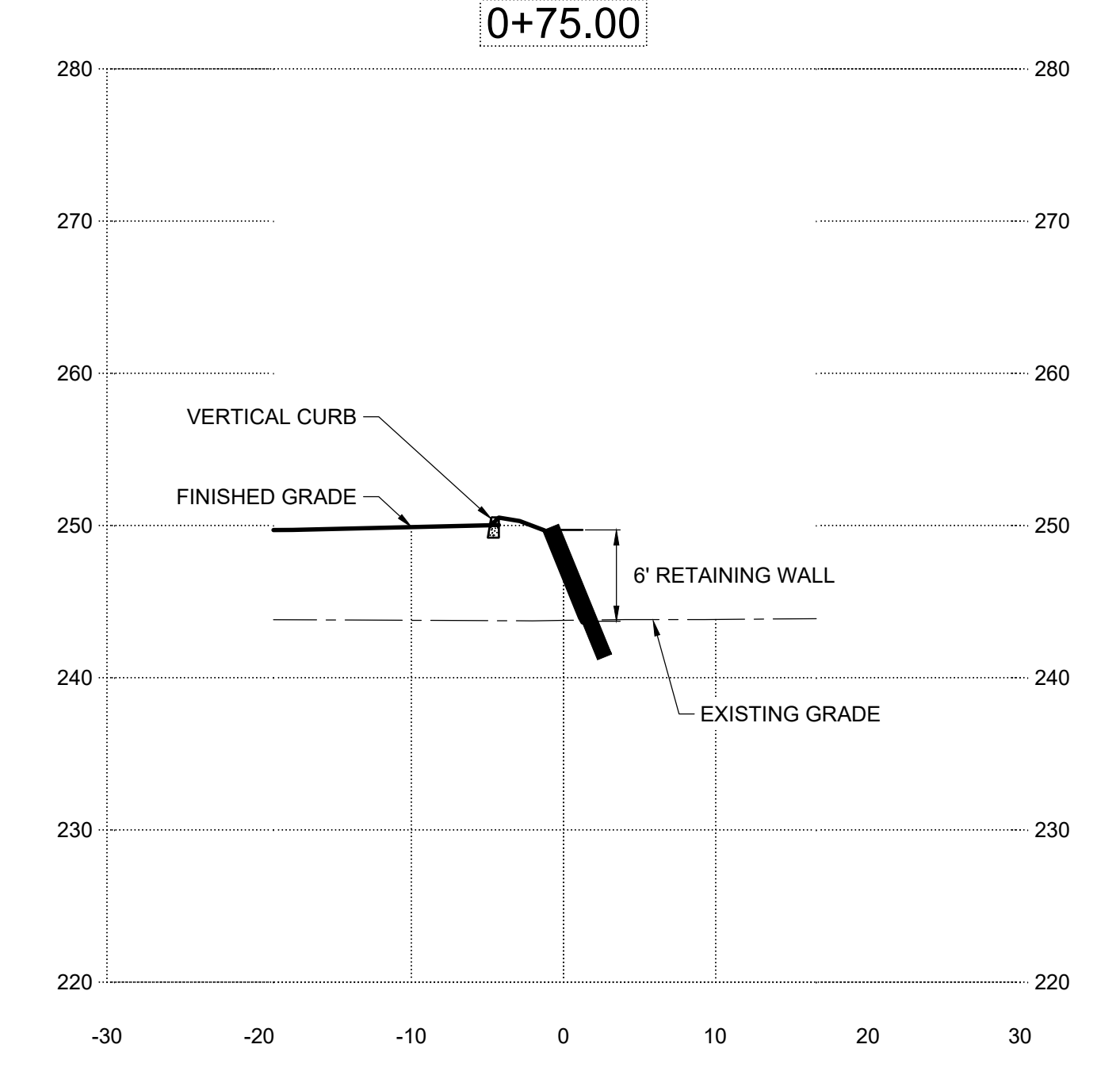
1 CROSS SECTION - NORTHWEST WALL
 SCALE: 1"=10'
 VERT. SCALE: 1"=1'



2 CROSS SECTION 1 - EAST WALL
 SCALE: 1"=10'
 VERT. SCALE: 1"=1'

3 CROSS SECTION 2 - EAST WALL
 SCALE: 1"=10'
 VERT. SCALE: 1"=1'

4 CROSS SECTION 3 - EAST WALL
 SCALE: 1"=10'
 VERT. SCALE: 1"=1'



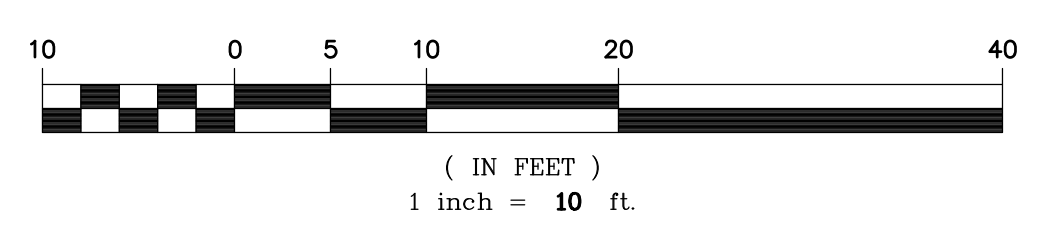
1 CROSS SECTION - SE WALL
 SCALE: 1"=10'
 VERT. SCALE: 1"=1'

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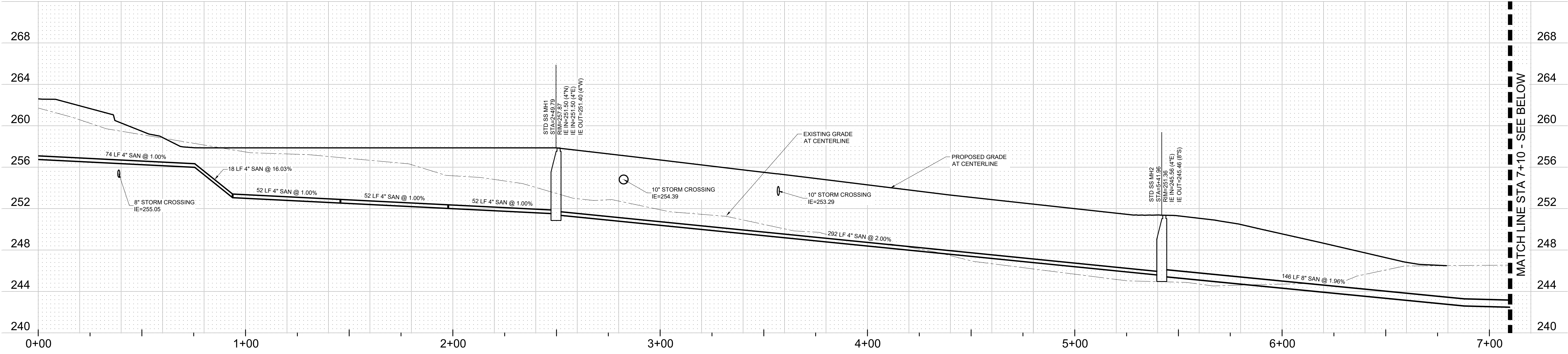
REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	07/14/2022

SHEET TITLE:
**GRADING
 CROSS
 SECTIONS**

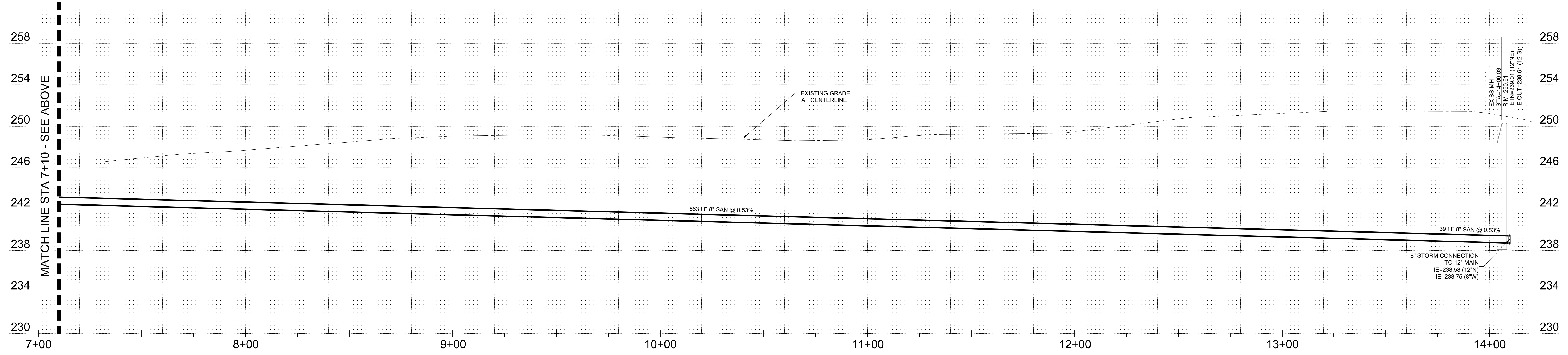
DRAWN BY: AOC, BMR
 CHECKED BY: BMR, BDN
 SHEET



C1.21



1 SANITARY PROFILE
 C1.32
 HORZ. SCALE 1"=20'
 VERT. SCALE 1"=5'



2 SANITARY PROFILE
 C1.32
 HORZ. SCALE 1"=20'
 VERT. SCALE 1"=5'

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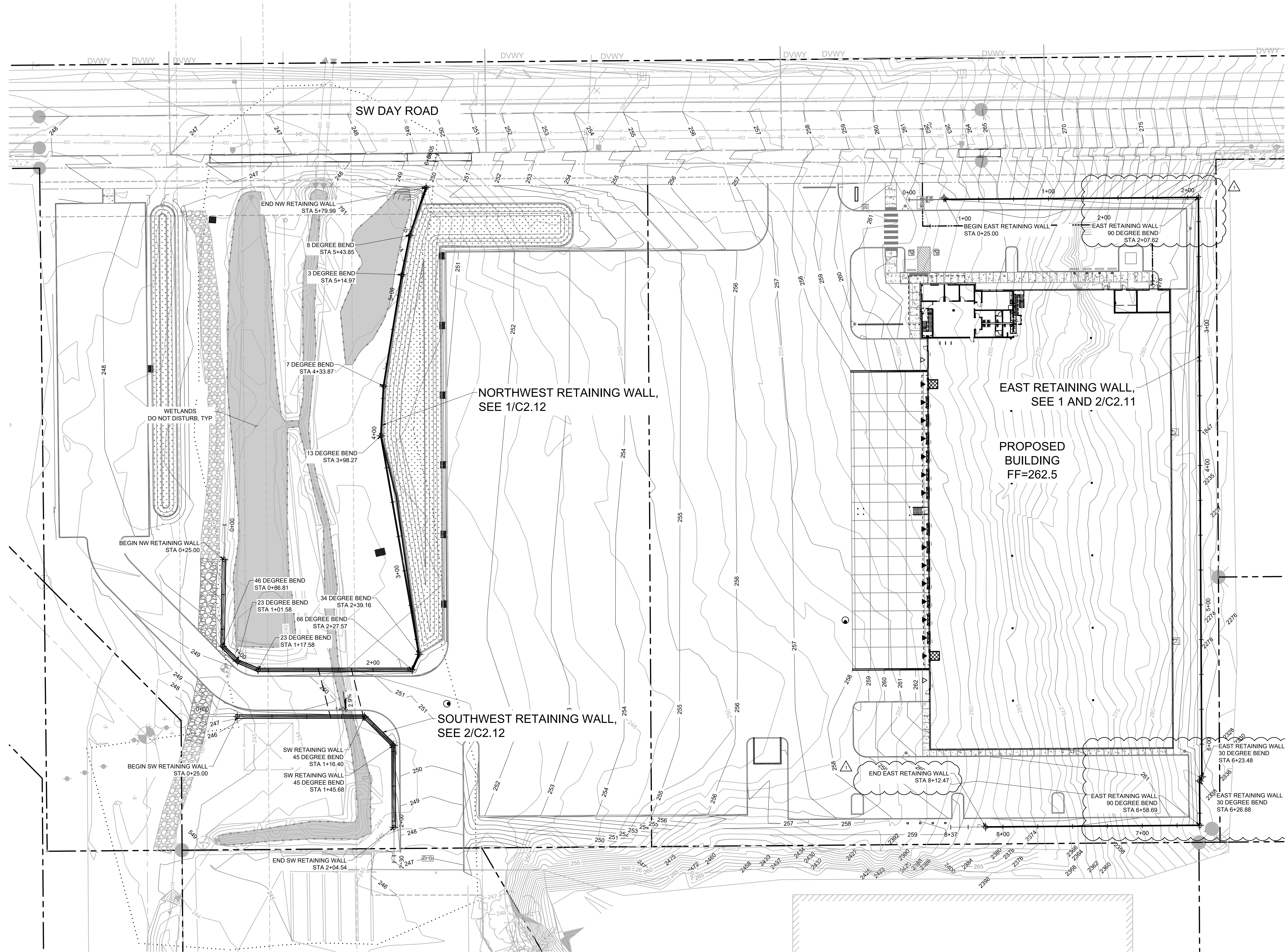
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
SANITARY PROFILE

DRAWN BY: BMR
 CHECKED BY: BMR, BDN
 SHEET

C1.32

JOB NO. **2200502.04**



1 OVERALL SITE PLAN - RETAINING WALL
C2.10
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

LEGEND

	EXISTING	PROPOSED
RIGHT-OF-WAY	---	---
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---

NOTE:

WALL ELEVATIONS ARE PROVIDED FOR CONTRACTOR COORDINATION ONLY. WALL FINAL DESIGN TO BE DESIGN-BUILD. REFER TO DESIGN-BUILD PLANS FOR WALL DETAILS, BLOCK LAYOUT, REINFORCING, AND OTHER DETAILS.

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REVISION SCHEDULE

Delta	Issued As	Issue Date
1	PLAN CHECK	07/14/2022

SHEET TITLE:

**OVERALL
RETAINING
WALL PLAN**

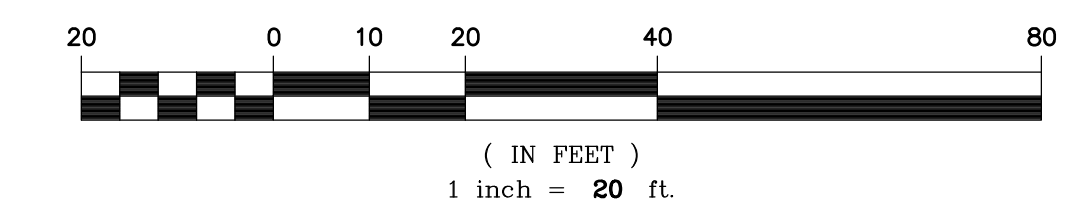
DRAWN BY: BMR
BMR, BDN
CHECKED BY:

SHEET

C2.11

JOB NO. **2200502.04**

DESIGN REVIEW SET 07/29/2022



Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993
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MACKENZIE
DESIGN REVIEW - CLIENT PROVIDED

Client
DELTA LOGISTICS
9835 SW COMMERCE
CIRCLE
WILSONVILLE, OR
97070

Project
DELTA LOGISTICS
SITE EXPANSION
9710 SW DAY RD.
CITY OF
WILSONVILLE, OR

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REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	07/14/2022

SHEET TITLE:
**EAST
RETAINING
WALL PROFILE**

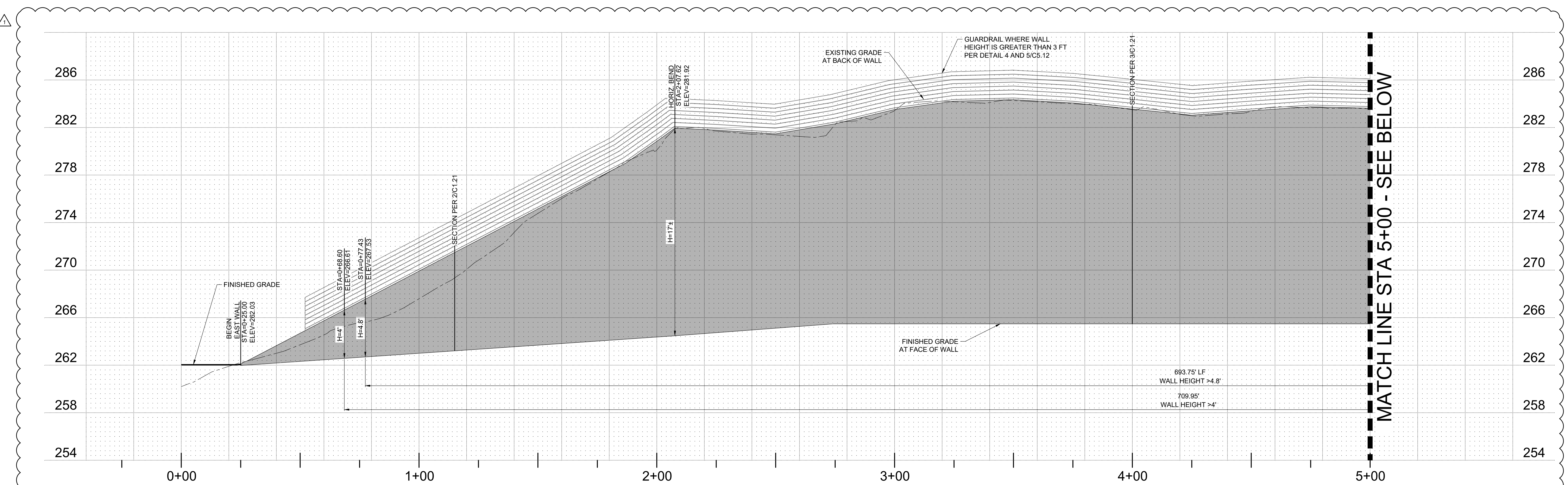
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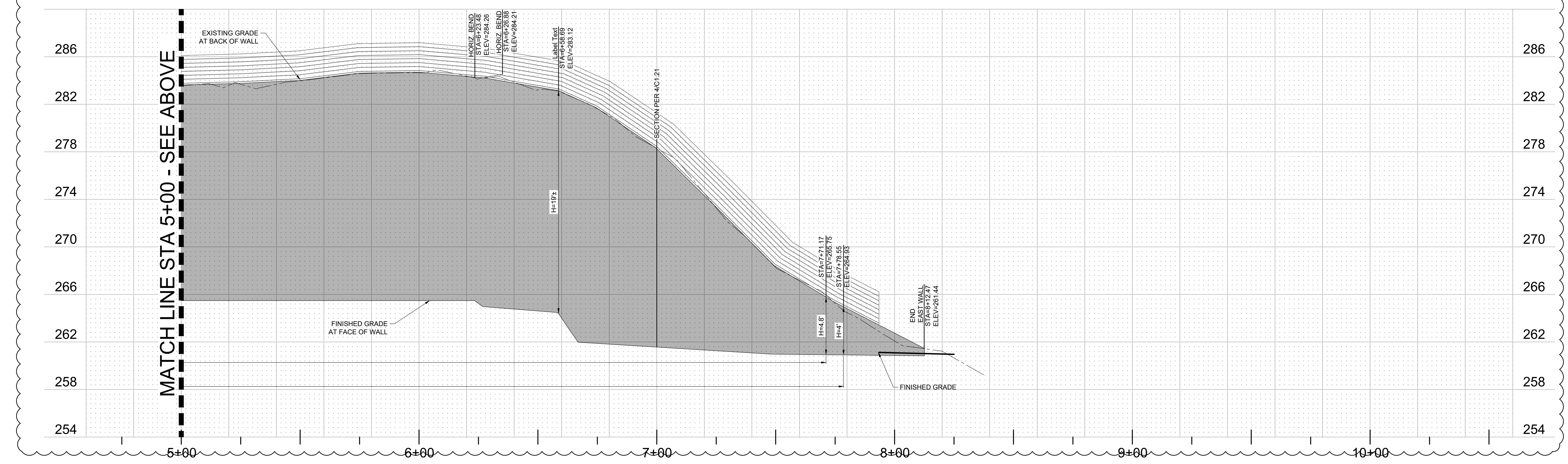
SHEET

C2.11

JOB NO. **2200502.04**



1 EAST RETAINING WALL PROFILE
C2.11 HORZ. SCALE 1"=20'
VERT. SCALE 1"=5'



2 EAST RETAINING WALL PROFILE
C2.11 HORZ. SCALE 1"=20'
VERT. SCALE 1"=5'

LEGEND

	<u>EXISTING</u>	<u>PROPOSED</u>
RIGHT-OF-WAY	— 590 —	— 590 —
MAJOR CONTOUR	— 591 —	— 591 —
MINOR CONTOUR	— 591 —	— 591 —

ABBREVIATIONS

FW	GROUND ELEVATION AT FACE OF WALL
BW	GROUND ELEVATION AT BACK OF WALL

NOTE:

WALL ELEVATIONS ARE PROVIDED FOR CONTRACTOR COORDINATION ONLY. WALL FINAL DESIGN TO BE DESIGN-BUILD. REFER TO DESIGN-BUILD PLANS FOR WALL DETAILS, BLOCK LAYOUT, REINFORCING, AND OTHER DETAILS.

REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	06/10/2022
2	LAND USE	11/15/2022

SHEET TITLE:

CIRCULATION PLAN

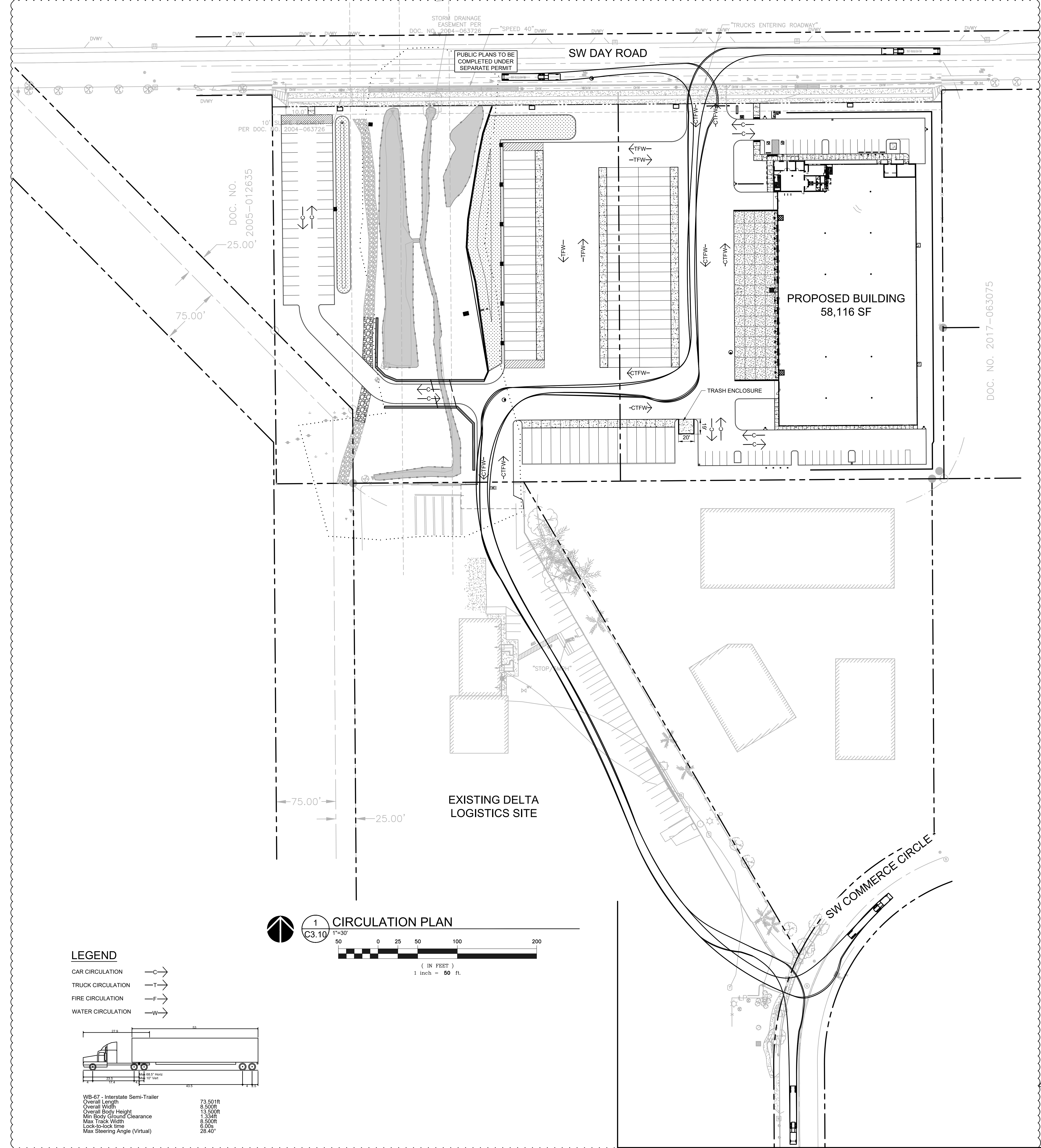
DRAWN BY:
 BMR

CHECKED BY:
 BMR, GIM

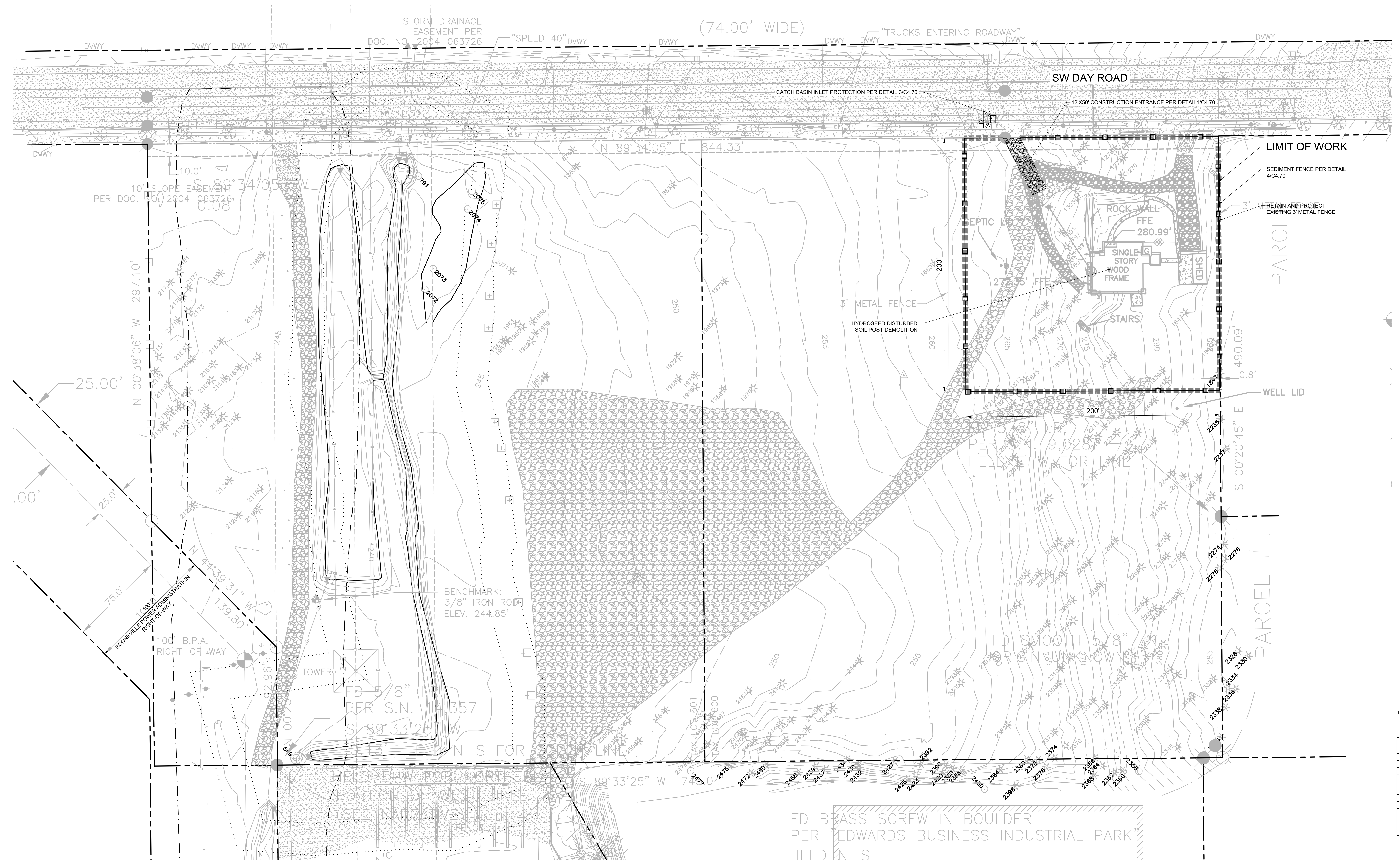
SHEET

C3.10

JOB NO. **2200502.04**

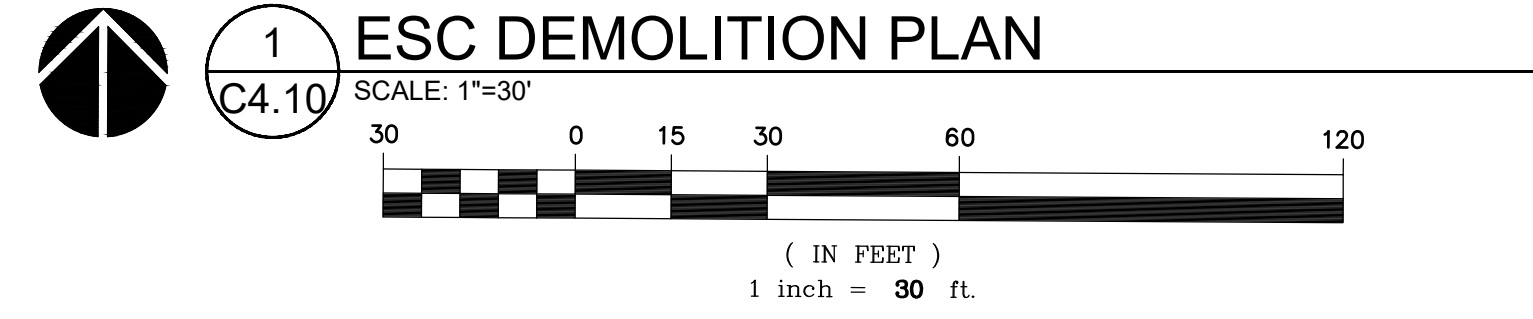


REVISION SCHEDULE		
Delta	Issued As	Issue Date

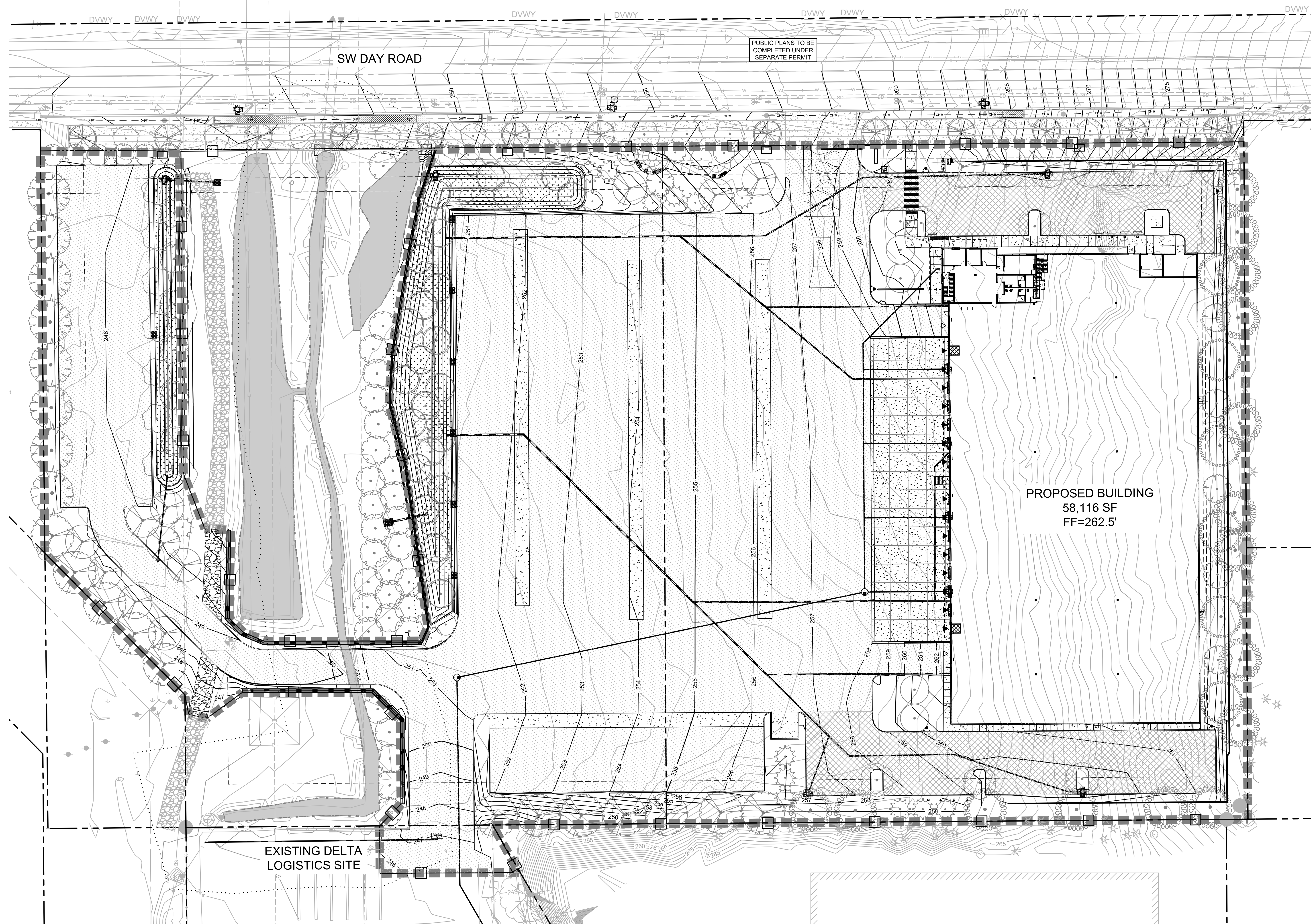


PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:

- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS, CONSTRUCTED OUT OF MULCH, CHIPPINGS OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
- SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE EQUIPMENTING, AND BANK STABILIZATION.
- ADDITIONAL EROSION CONTROL MEASURES AND DETAILS CAN BE FOUND IN THE CLEAN WATER SERVICES' CONSTRUCTION AND DESIGN STANDARDS, 2017.



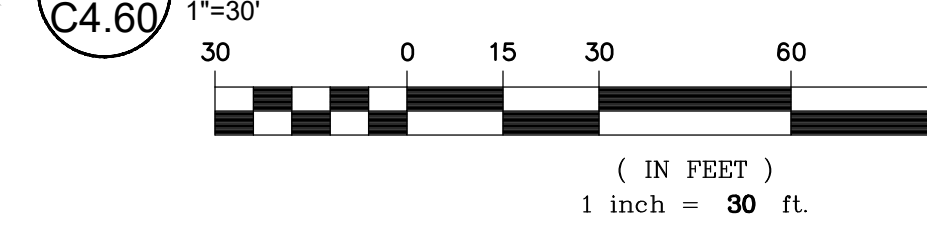
REVISION SCHEDULE		
Delta	Issued As	Issue Date



EROSION CONTROL GENERAL NOTES

- SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
B. DWARF GRASS MIX (MIN. 100 LB./AC.)
1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
2. CREEPING RED FESCUE (20% BY WEIGHT)
C. STANDARD HEIGHT GRASS MIX (MIN. 100 LB./AC.)
1. ANNUAL RYEGRASS (40% BY WEIGHT)
2. TURF-TYPE FESCUE (60% BY WEIGHT)
- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION DURING "WET WEATHER" PERIODS. STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

1 FOUNDATION ESC PLAN



EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION

- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL "SEDIMENT BARRIERS" (TO BE INSTALLED AFTER GRADING) SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
- THE STORM WATER FACILITY SHALL BE CONSTRUCTED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
- INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

DEWATERING NOTE

- CONTRACTOR SHALL MONITOR DEWATERING OPERATIONS WITH DAILY INSPECTIONS DURING DEWATERING OPERATIONS.
- DEWATERING TECHNIQUES SHALL INCLUDE A PUMP AND HOSE TO CONVEY THE DEWATERING FLOW TO APPROVED LOCATIONS. THE APPROVED LOCATIONS IS THE STORM FILTRATION BASIN.
- DEWATERING INTO THE STORM DETENTION WATER QUALITY BASIN MAY ONLY PROCEED ONCE THE DETENTION SYSTEM INLET RIP-RAP AND OUTLET APPURTENANCES AND RIP-RAP OUTFALL ARE INSTALLED AND PERMANENT SOIL STABILIZATION IS IN PLACE.
- TRENCH AND FOUNDATION EXCAVATIONS SHALL BE PROTECTED DURING WET WEATHER FROM OVER SATURATION.
- DEWATERING OPERATIONS LEFT OVERNIGHT SHALL BE INSPECTED IMMEDIATELY IN THE MORNING. IF DEWATERING OPERATIONS ARE LEFT IN OPERATION OVER WEEKENDS, HOLIDAYS OR MORE THAN 24 HOURS, THE CONTRACTOR SHALL PROVIDE DAILY INSPECTIONS AND PROVIDE FOR INSPECTION WITHIN 2 HOURS AFTER RAIN EVENTS PRODUCING MORE THAN 0.5-INCHES IN A 24-HOUR PERIOD.

LEGEND

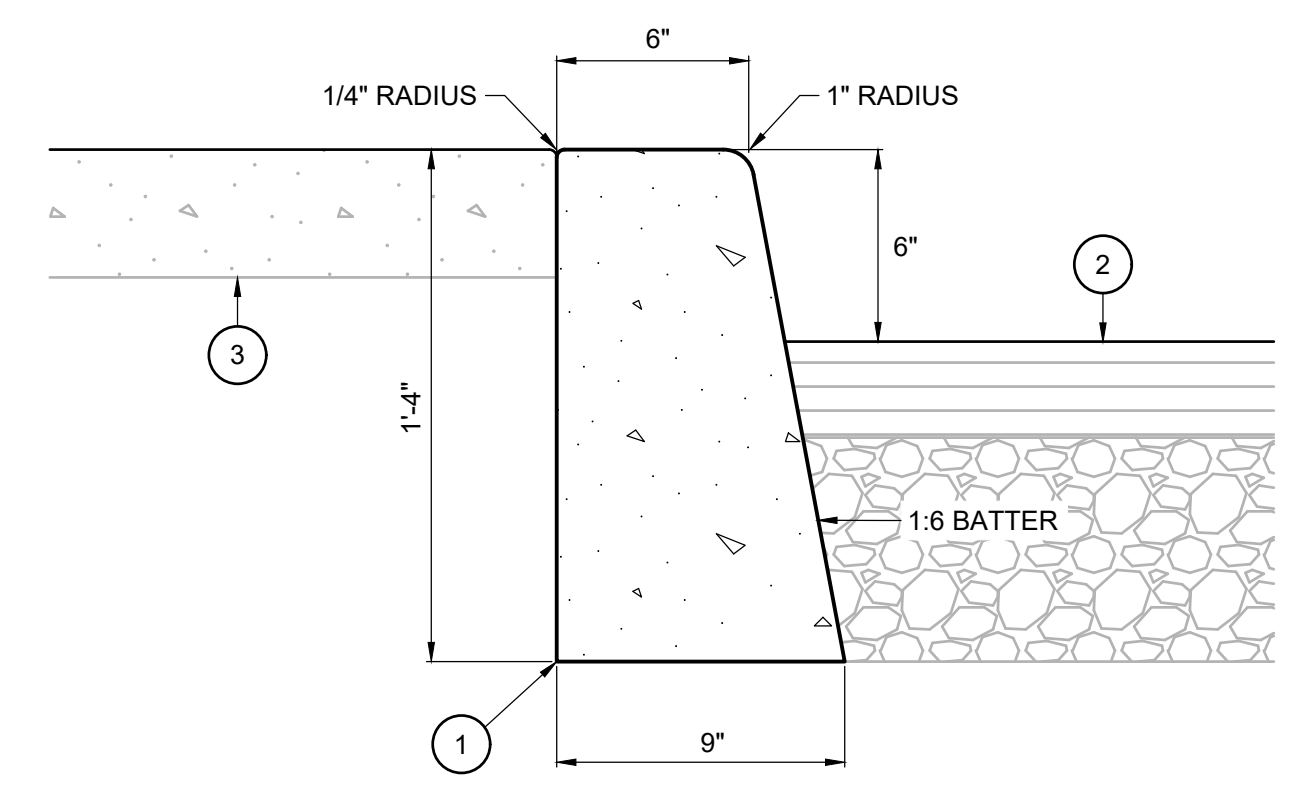
- SEDIMENT FENCE/STRAW WATTLE, PER DETAIL 4/C4.70
- LIMIT OF DISTURBANCE
- INLET PROTECTION, PER DETAIL 2/C4.70
- GRAVEL CONSTRUCTION ENTRANCE, PER DETAIL 3/C4.70
- WHEEL WASH, PER DETAIL 1/C4.70

SPILL KIT AND SPILL RESPONSE PROCEDURES SHALL BE KEPT IN/ON THE JOBSITE TRAILER AT ALL TIMES AND ALL FIELD PERSONNEL SHALL BE MADE AWARE

STAGING AND STOCKPILE AREAS ARE TO BE DETERMINED BY THE CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION. THE OWNER'S EROSION CONTROL INSPECTOR SHALL BE MADE AWARE OF ALL CHANGES AND CONSULTED FOR BMP IMPLEMENTATIONS THAT MAY BE NECESSARY TO ACCOMMODATE THE SELECTED LOCATIONS.

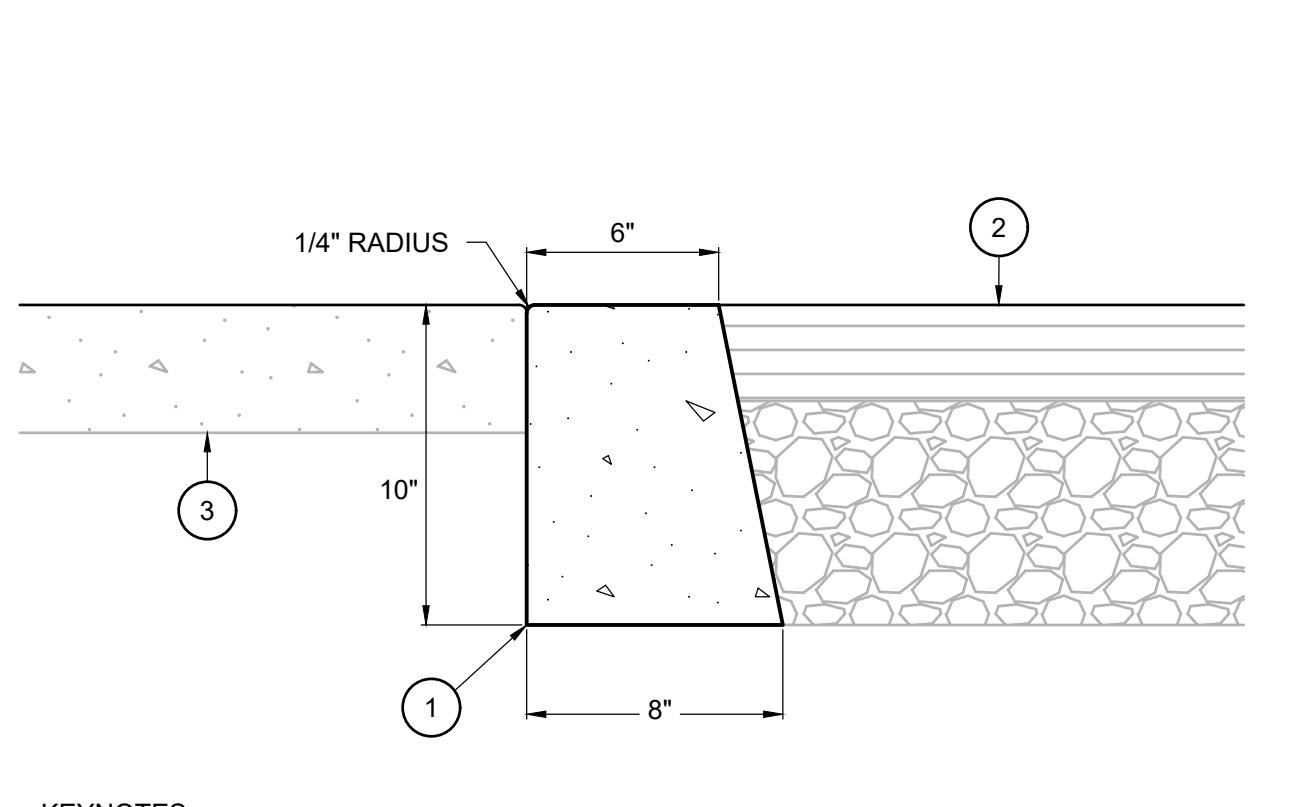
THIS PLAN IS INTENDED TO BE ONLY A BASELINE APPROACH TO EROSION AND SEDIMENT CONTROL FOR THE PROJECT SITE. THE OWNER'S EROSION AND SEDIMENT CONTROL INSPECTOR SHALL BE RESPONSIBLE FOR INSTRUCTING THE CONTRACTOR TO ADJUST BMPs AS NECESSARY TO PROPERLY MANAGE THE VARIOUS PHASES OF CONSTRUCTION AND ANY UNFORESEEN CONDITIONS REQUIRING DIFFERENT OR ADDITIONAL BMPs TO MANAGE.

SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS



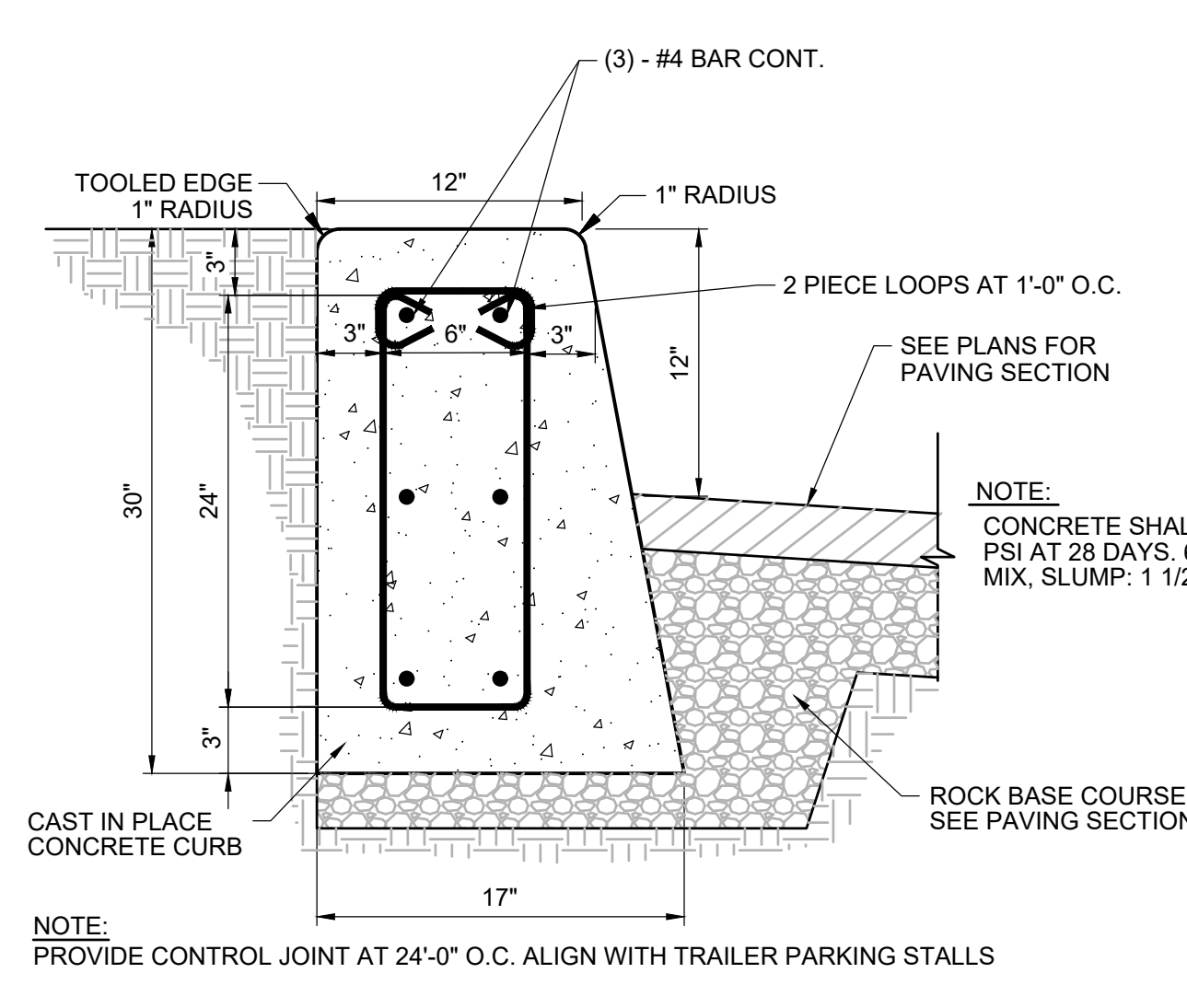
KEYNOTES:
 1. CONCRETE FOR CURBING PER PROJECT SPECIFICATIONS
 2. PAVEMENT SECTION PER CIVIL PLANS
 3. SEE PLANS FOR IMPROVEMENTS AT BACK OF CURB. WHERE SIDEWALK OCCURS, THE SIDEWALK AND TOP OF CURB SHALL BE FLUSH. WHERE ABUTTING A PLANTER AREA, THE FINAL GRADE SHALL BE 1" MINIMUM BELOW TOP OF CURB, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT

1 VERTICAL CURB
 C5.10 NTS

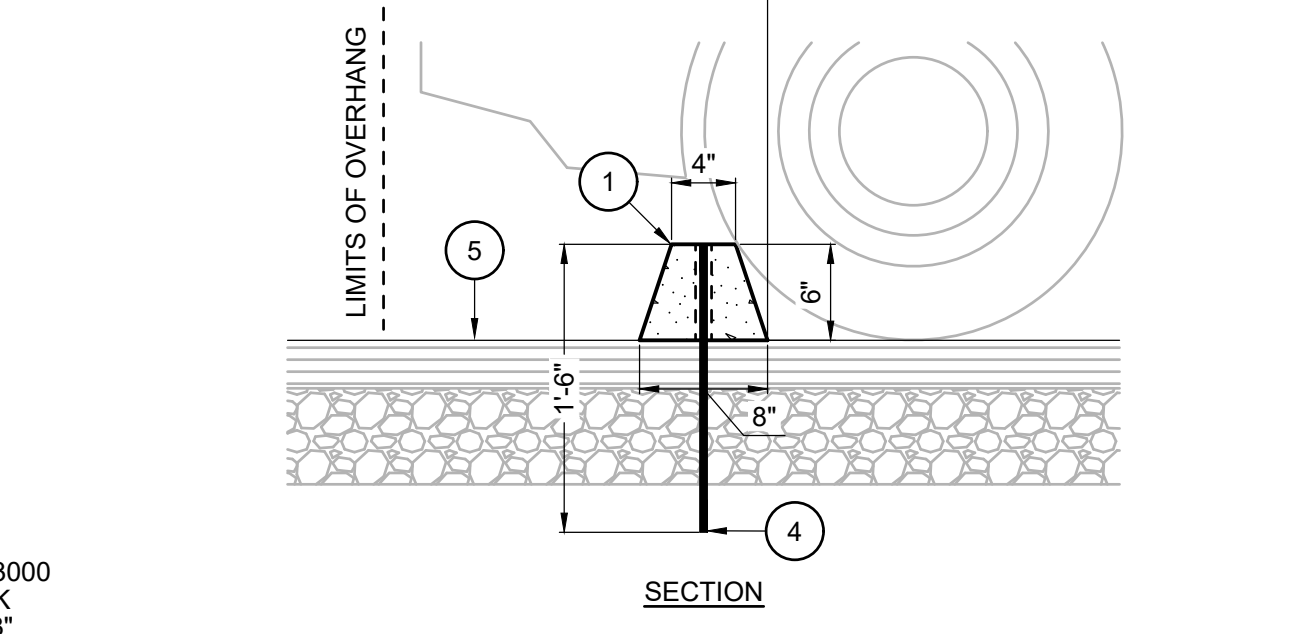


KEYNOTES:
 1. CONCRETE FOR CURBING PER PROJECT SPECIFICATIONS
 2. PAVEMENT SECTION PER PLANS
 3. SEE PLANS FOR IMPROVEMENTS AT BACK OF CURB. WHERE SIDEWALK OCCURS, THE SIDEWALK AND TOP OF CURB SHALL BE FLUSH. WHERE ABUTTING A PLANTER AREA, THE FINAL GRADE SHALL BE 1" MINIMUM BELOW TOP OF CURB, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT

2 FLUSH CURB
 C5.10 NTS



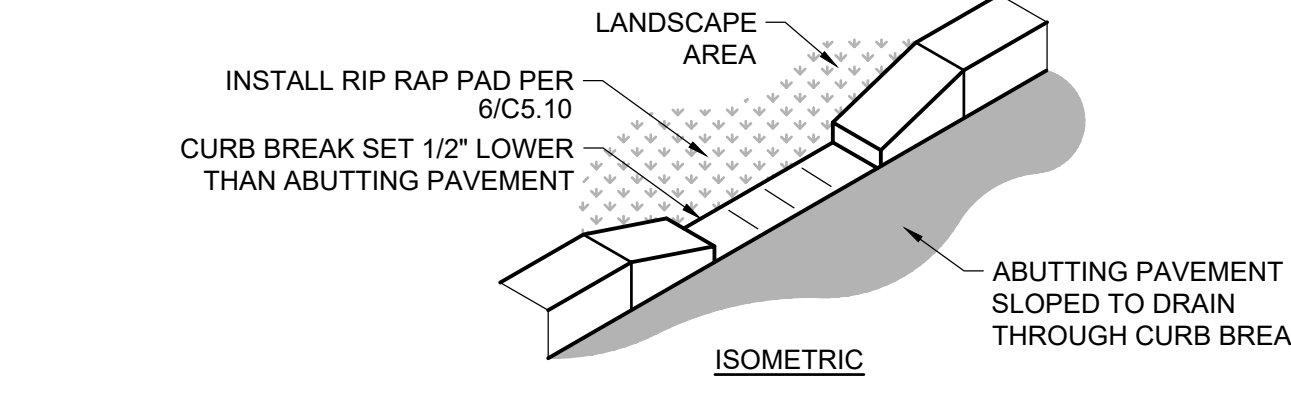
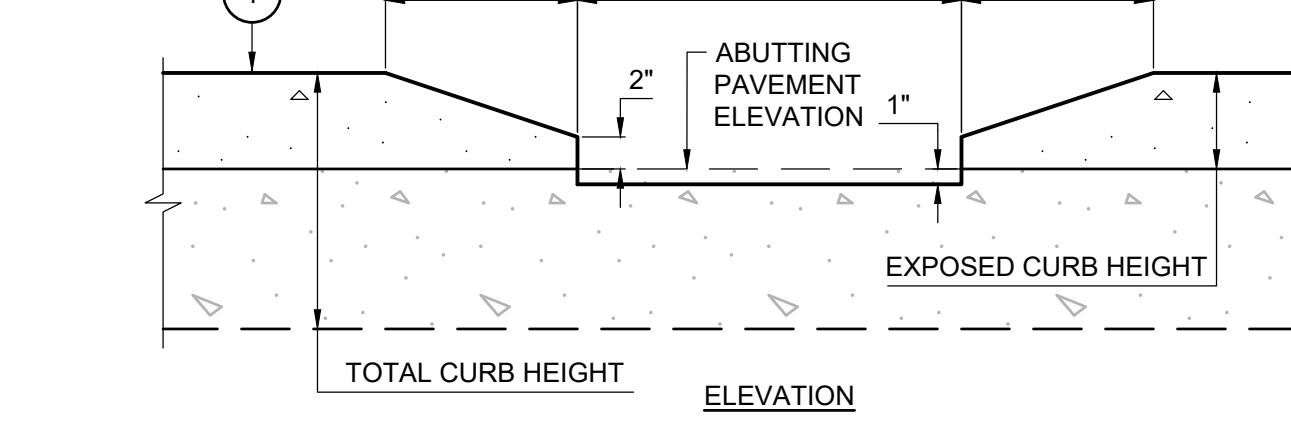
3 12" X 30" REINFORCED CURB
 C5.10 N.T.S.



KEYNOTES:
 1. PRECAST WHEEL STOP. DIMENSIONS SHOWN ARE MINIMUMS
 2. DOWEL HOLES (2 MINIMUM)
 3. DRAINAGE SLOTS (2 MINIMUM)
 4. #4 REBAR OR PER MANUFACTURER'S RECOMMENDATIONS
 5. FINISHED GROUND PER PLANS

NOTES:
 A. INSTALL WHEEL STOP PER MANUFACTURER'S RECOMMENDATIONS

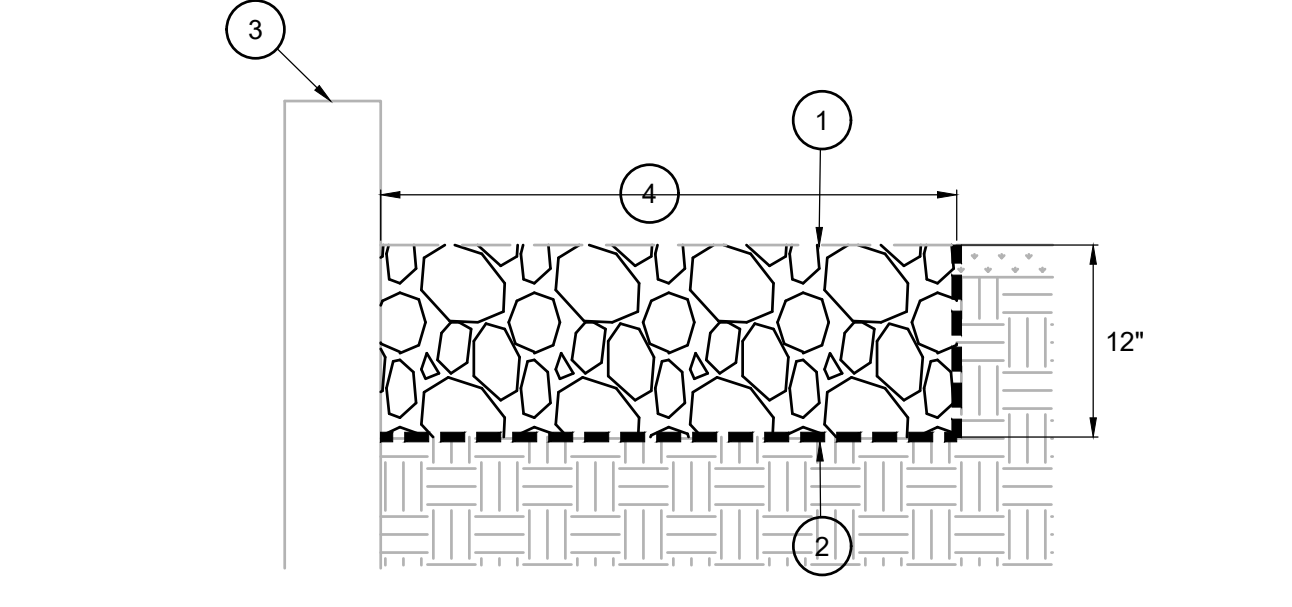
4 PRECAST WHEEL STOP
 C5.10 NTS



KEYNOTES:
 1. CONCRETE CURB PER 1/C5.10. CONCRETE FOR CURBING PER PROJECT SPECIFICATIONS

NOTES:
 A. IF CURBING IS REINFORCED, BEND REINFORCEMENT TO PASS UNDER CURB BREAK WHILE MAINTAINING 3" COVER ON REBAR

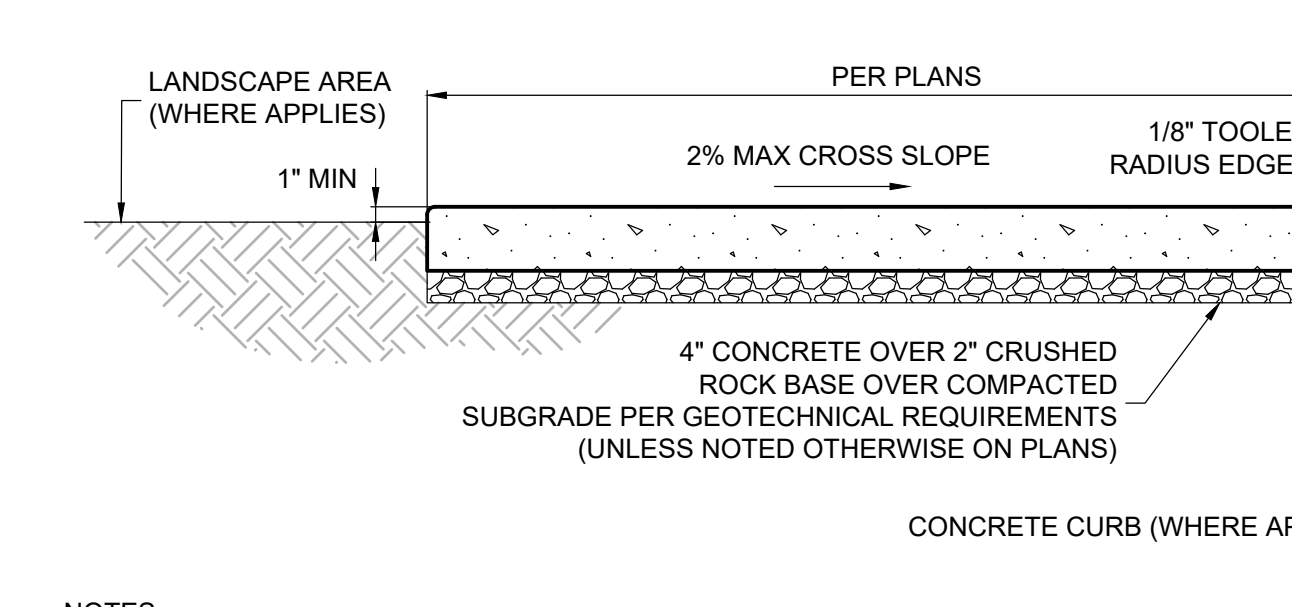
5 CURB BREAK
 C5.10 NTS



KEYNOTES:
 1. CRUSHED, ANGULAR, 6"-10" DIAMETER ROCK (I.E. ODOT CLASS 50 RIP RAP). TOP OF RIP RAP LAYER TO BE FLUSH WITH ADJACENT GRADE
 2. WOVEN FILTER FABRIC, ENCASED ALL BUT THE TOP SURFACE OF THE AGGREGATE
 3. PIPE OUTFALL OR CURB BREAK LOCATION, WIDTH/DIAMETER, AND INVERT PER PLAN. CENTER RIP RAP PAD ON PIPE OUTFALL/CURB BREAK
 4. RIP RAP PAD DIMENSIONS PER PLAN. IF NONE NOTED, INSTALL TO A MINIMUM WIDTH OF 12" TO EITHER SIDE OF A CURB BREAK OR PIPE OUTFALL AND 48" LONG

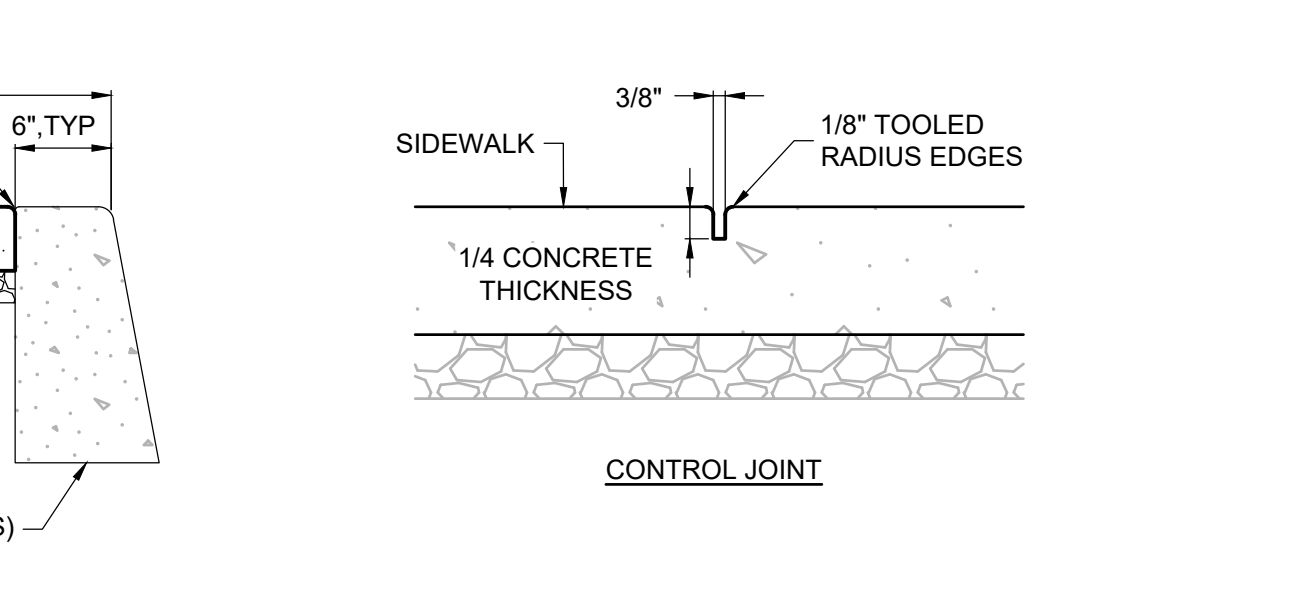
NOTES:
 A. ALL FEATURES SHOWN OTHER THAN THE RIP RAP PAD ARE SHOWN FOR REFERENCE ONLY TO PROVIDE CONTEXT OF THE RIP RAP RELATIONSHIP TO ITS SURROUNDINGS. REFER TO THE PLANS FOR PROJECT SPECIFIC RELATIONSHIPS TO OTHER SITEWORK ELEMENTS

6 RIP RAP PAD
 C5.10 NTS



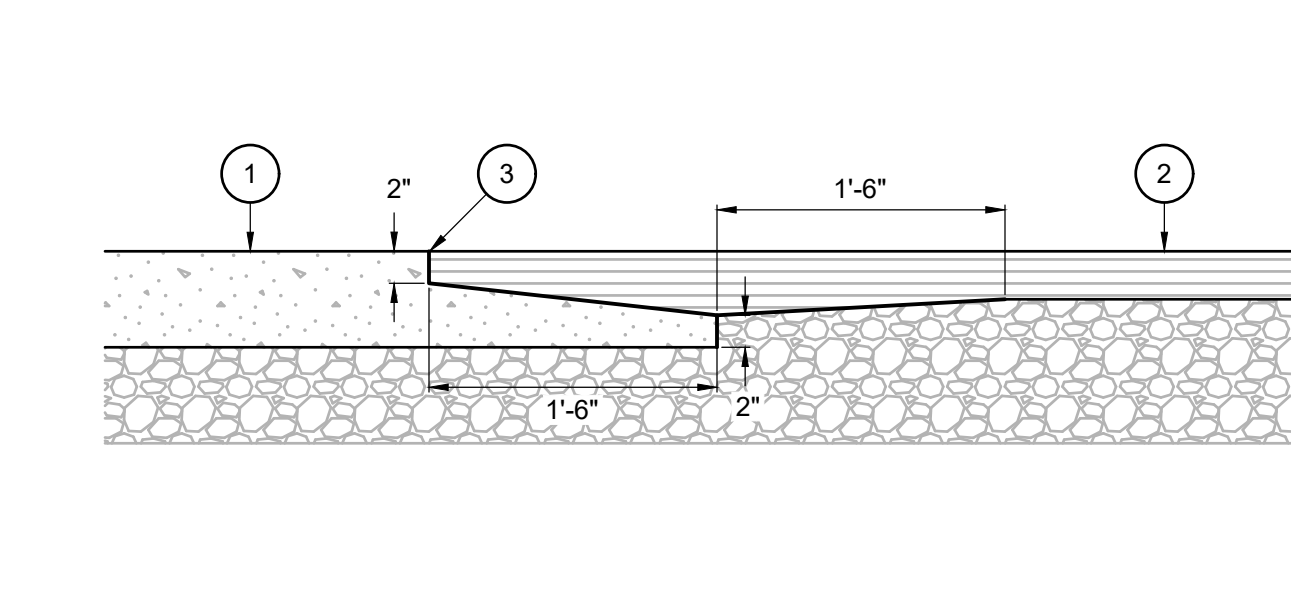
NOTES:
 A. CONCRETE SIDEWALK SHALL BE BROOM FINISHED UNLESS OTHERWISE NOTED ON PLANS
 B. SEE PROJECT SPECIFICATIONS FOR CONCRETE, AGGREGATE BASE, AND JOINT MATERIALS
 C. WHERE SIDEWALK ABUTS CURBING, SURFACE SHALL BE FLUSH WITH TOP OF CURB UNLESS NOTED OTHERWISE ON PLANS. WHERE SIDEWALK ABUTS LANDSCAPE OR OTHER PERVIOUS AREA, GRADE SHALL BE RECESSED 1" MINIMUM OR AS OTHERWISE DICTATED BY THE LANDSCAPE ARCHITECT OR NOTED ON PROJECT PLANS
 D. DO NOT USE SHINERS ON TOOLED EDGES UNLESS NOTED OTHERWISE
 E. CONTROL JOINTS SHALL BE EVENLY SPACED AND LOCATED EVERY 5' MAXIMUM, WITH EXPANSION JOINTS EVERY FOURTH JOINT. OR PER PLAN. SIDEWALK JOINTS SHALL BE ALIGNED WITH CURB JOINTS OR WHERE PERPENDICULAR CURBING INTERSECTS.

7 CONCRETE SIDEWALK AND JOINTS
 C5.10 NTS



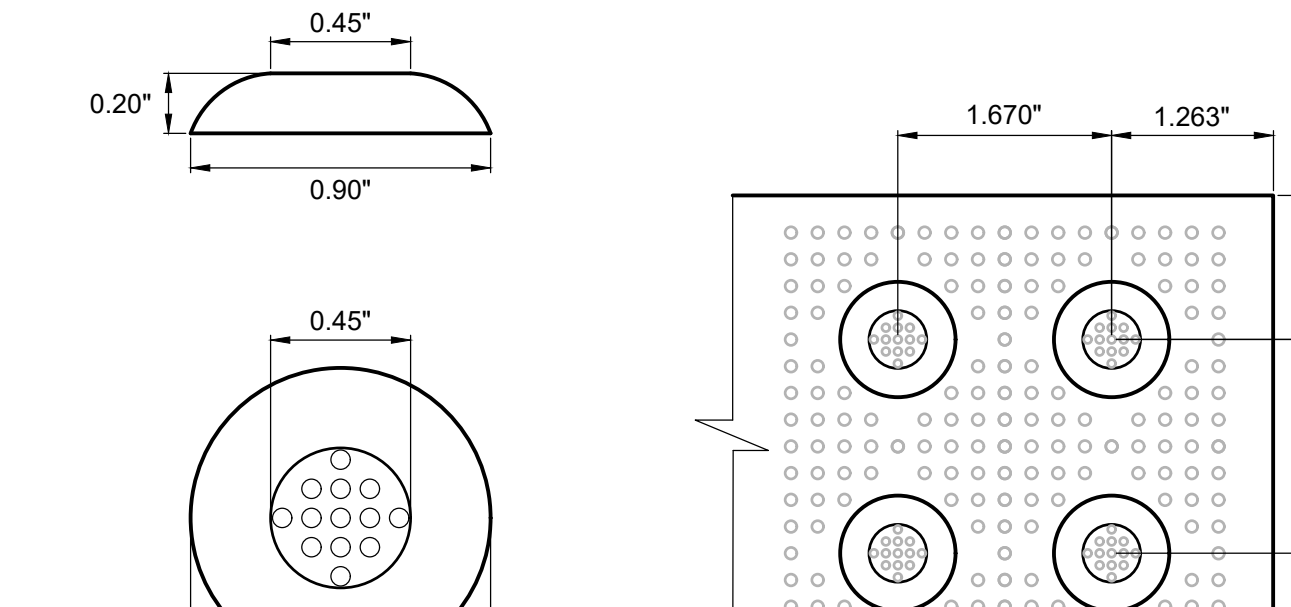
NOTES:
 A. 3/8" RECESSED SEALANT TOOLED CONCAVE AND TIGHT TO BACKER ROD
 B. ROUNDED POLYMER BACKER ROD WITH NO BOND TO SEALANT

CONTROL JOINT
EXPANSION JOINT



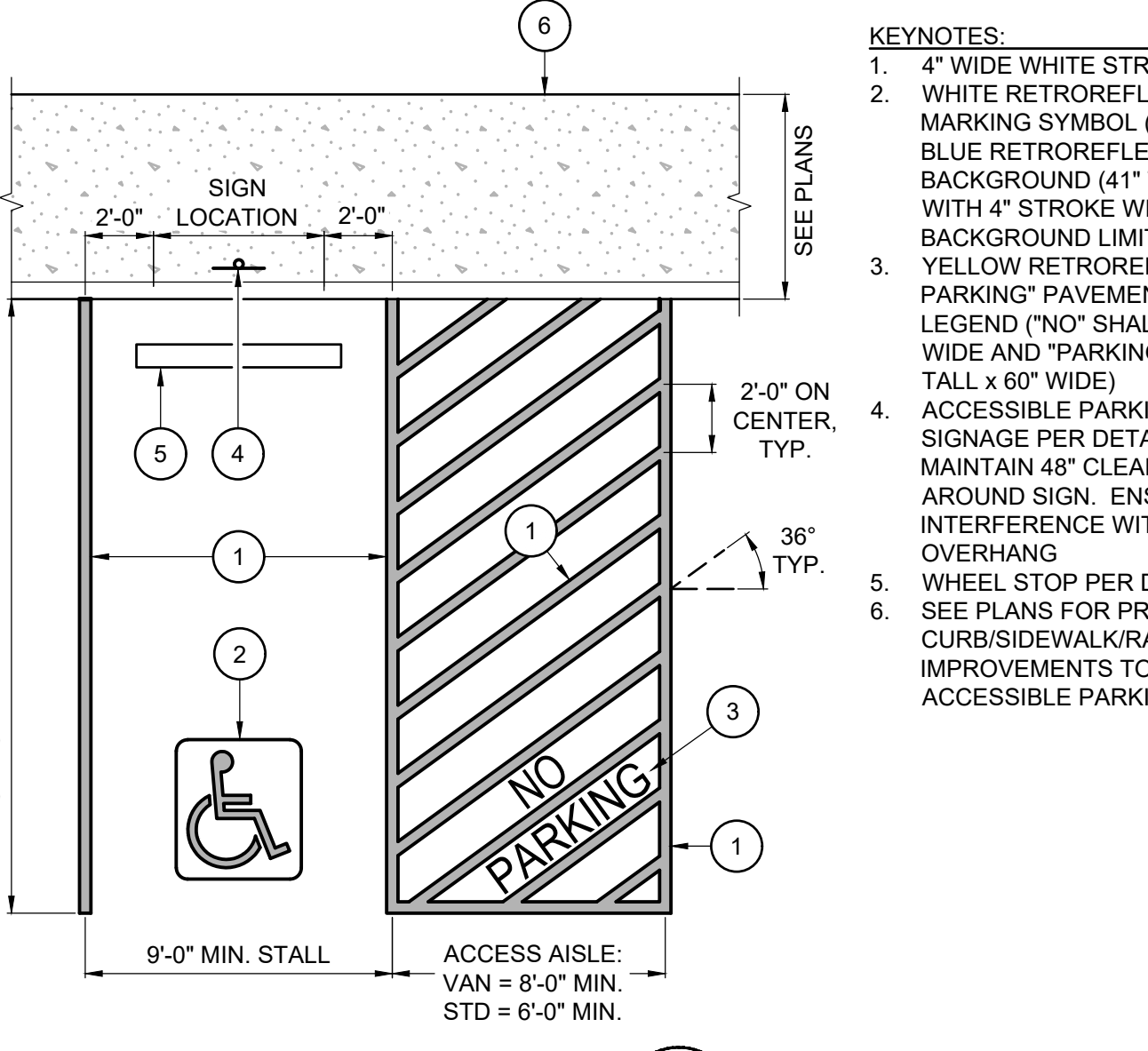
KEYNOTES:
 1. CONCRETE PAVEMENT PER PLANS AND PROJECT SPECIFICATIONS
 2. ASPHALT PAVEMENT AND BASE COURSE PER PLANS AND PROJECT SPECIFICATIONS
 3. PROVIDE 3/8" TOOLED EDGE RADIUS ON CONCRETE AND APPLY SEALANT AT JOINT PER PROJECT SPECIFICATIONS

8 ASPHALT TO CONCRETE TRANSITION
 C5.10 NTS

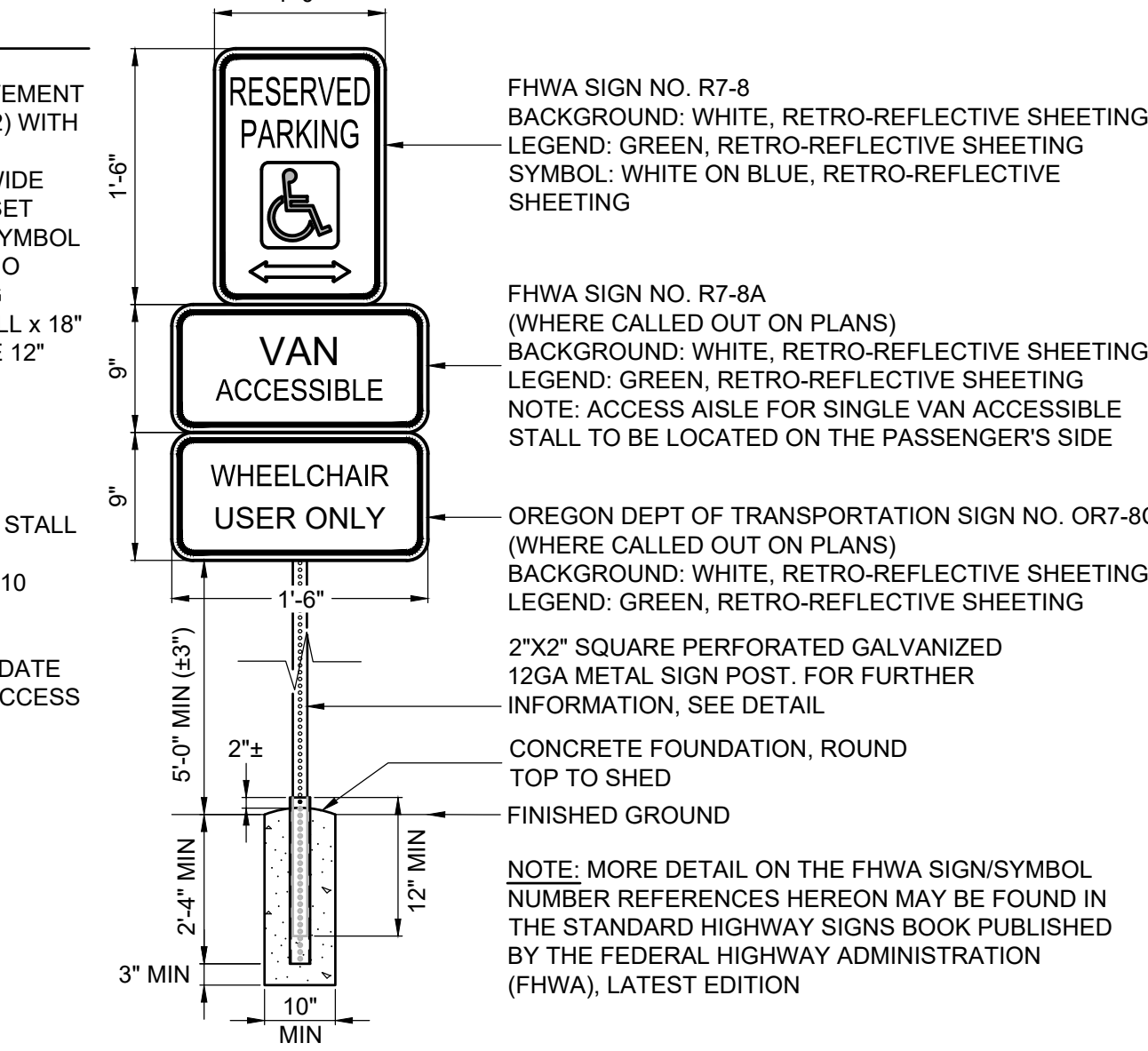


NOTES:
 A. PLACE TRUNCATED DOME DETECTABLE WARNING TEXTURE (OR CAST-IN-PLACE PANELS) IN THE LOWER 24" FOR THE FULL WIDTH OF THE RAMP
 B. ARRANGE DOMES USING AN INLINE PATTERN AS SHOWN IN THE DETAIL ABOVE
 C. COLOR OF DOME TEXTURE (OR PANELS) TO BE SAFETY YELLOW, UNLESS NOTED OTHERWISE ON PLANS
 D. SURFACE APPLIED PANELS SHALL ONLY BE ALLOWED IN RETROFIT CONDITIONS AND WITH THE PRIOR APPROVAL OF THE ENGINEER

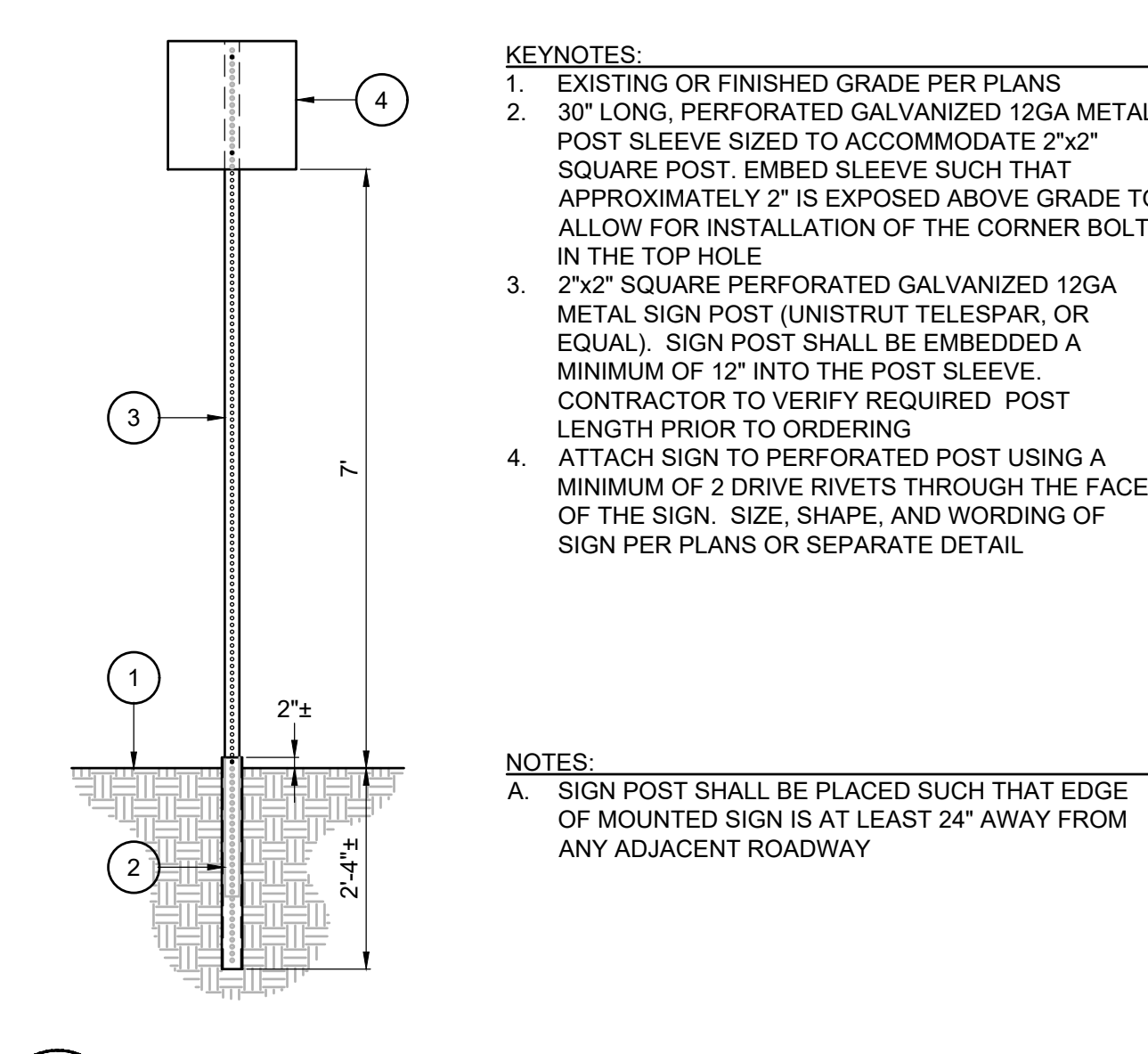
9 TRUNCATED DOMES
 C5.10 NTS



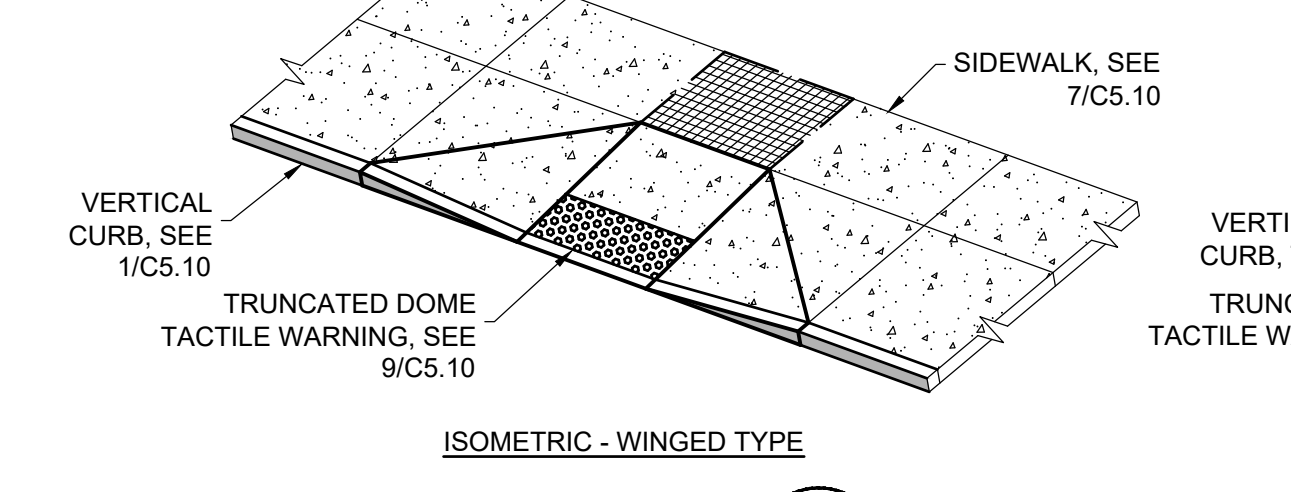
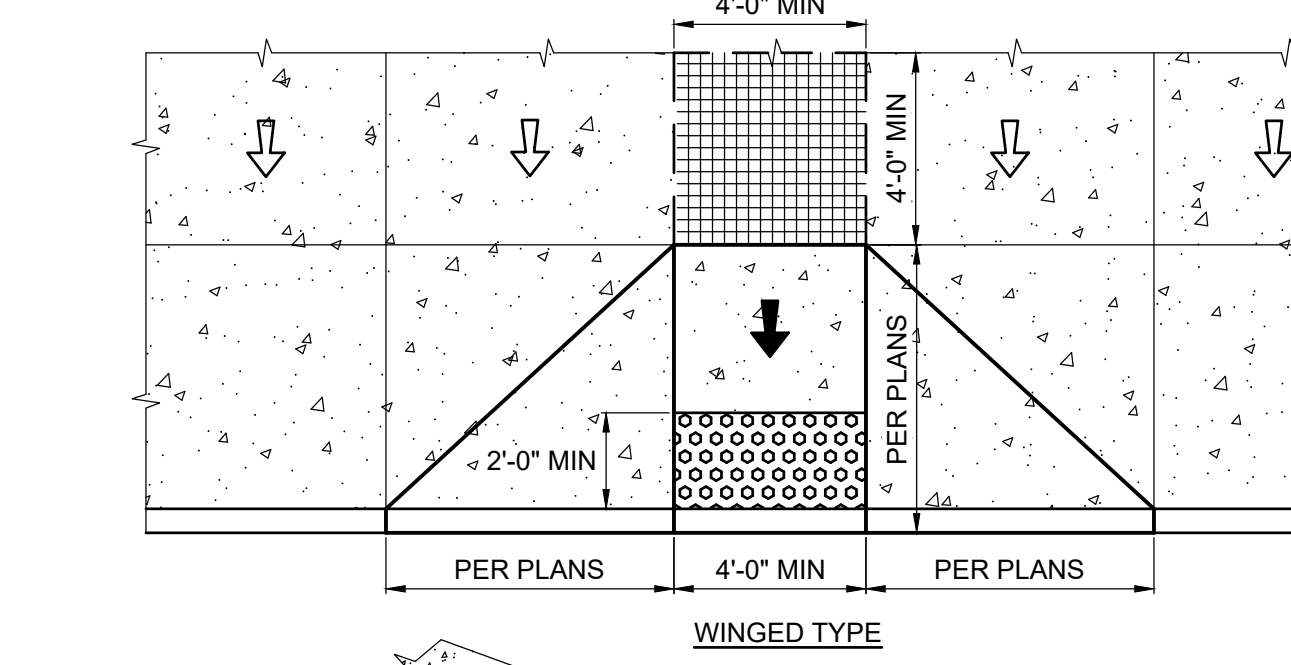
10 ACCESSIBLE PARKING STALL
 C5.10 NTS



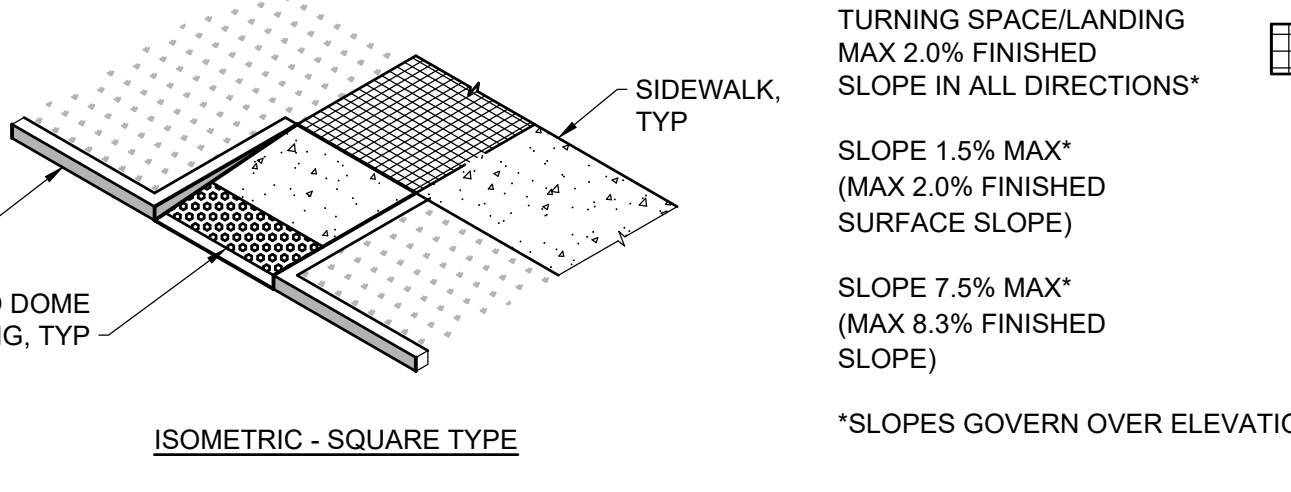
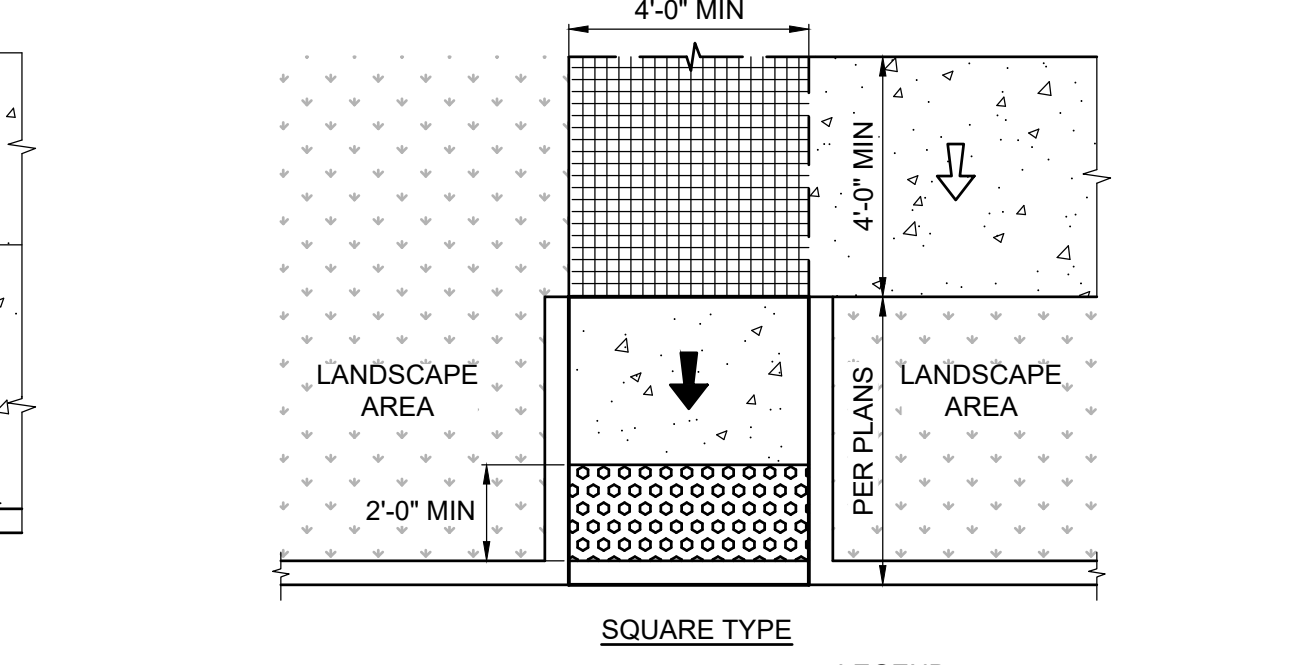
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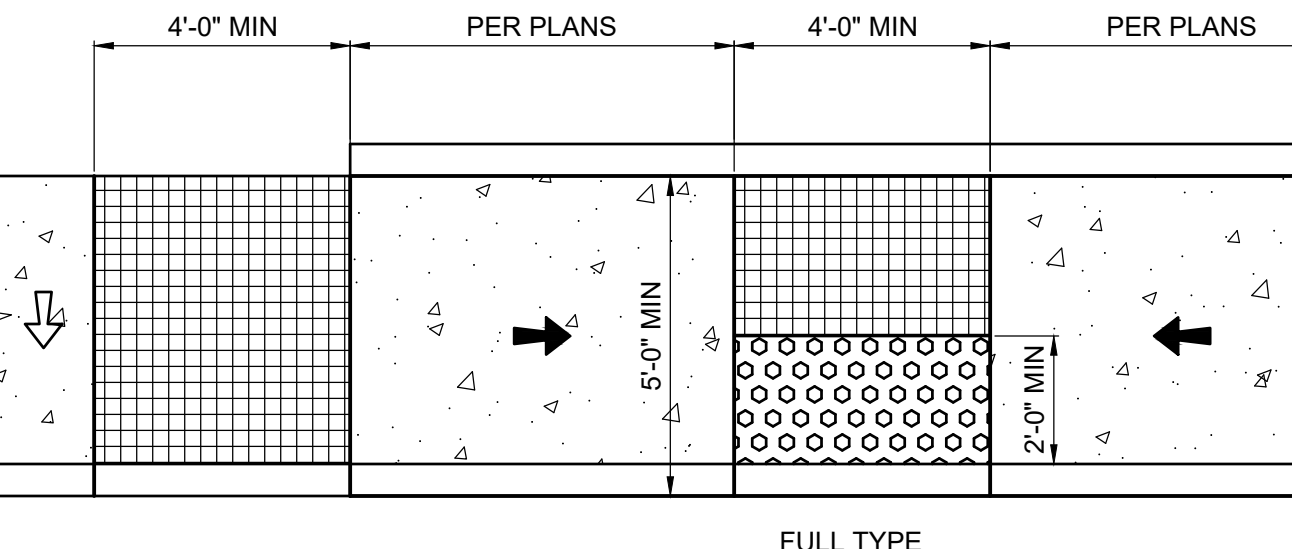
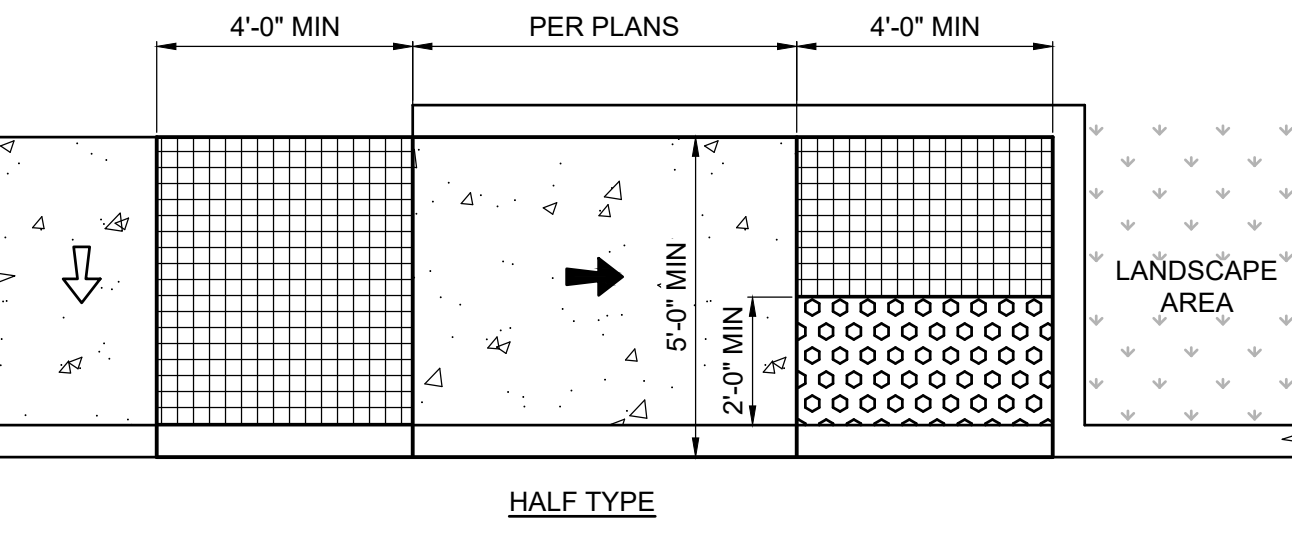
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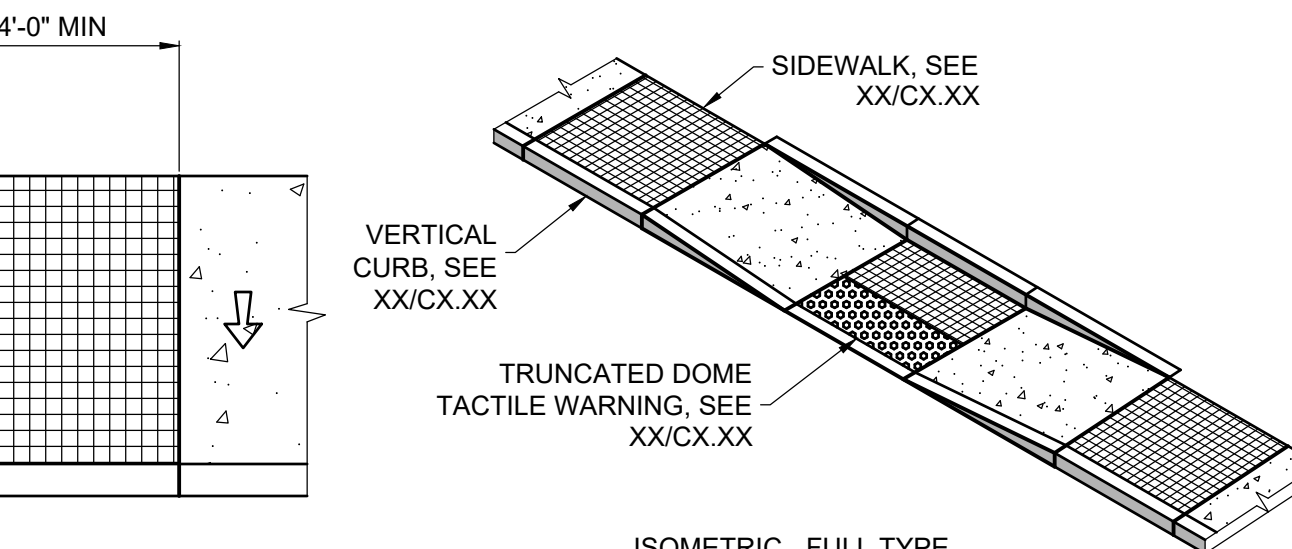
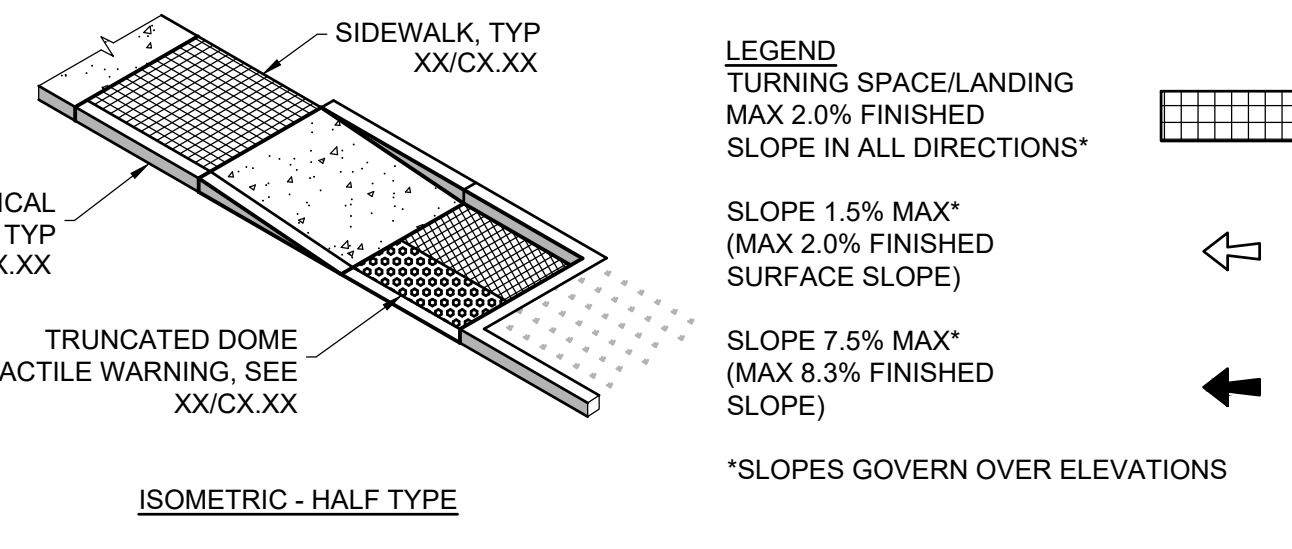
12 PERPENDICULAR CURB RAMPS
 C5.10 NTS



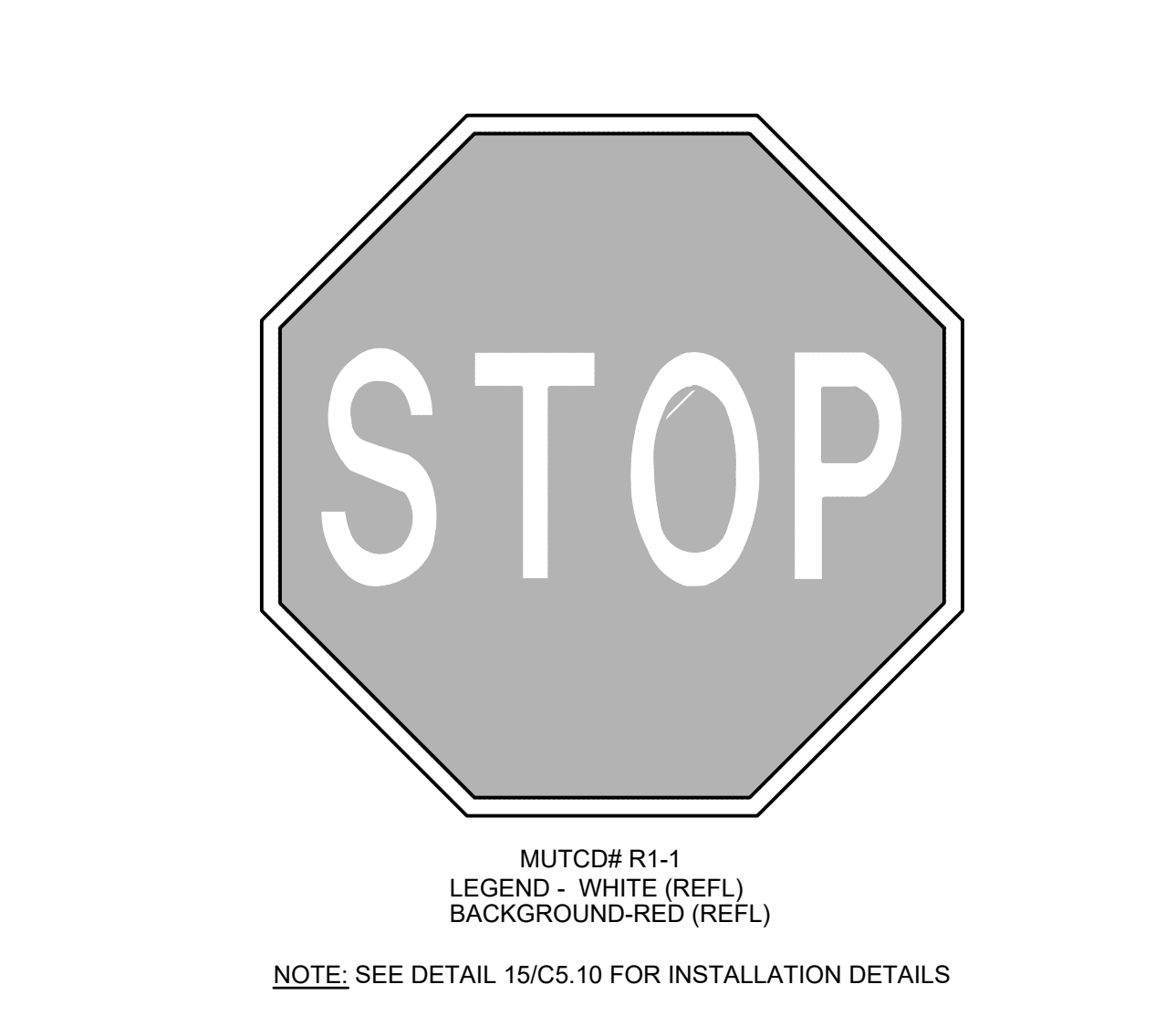
12 PERPENDICULAR CURB RAMPS
 C5.10 NTS



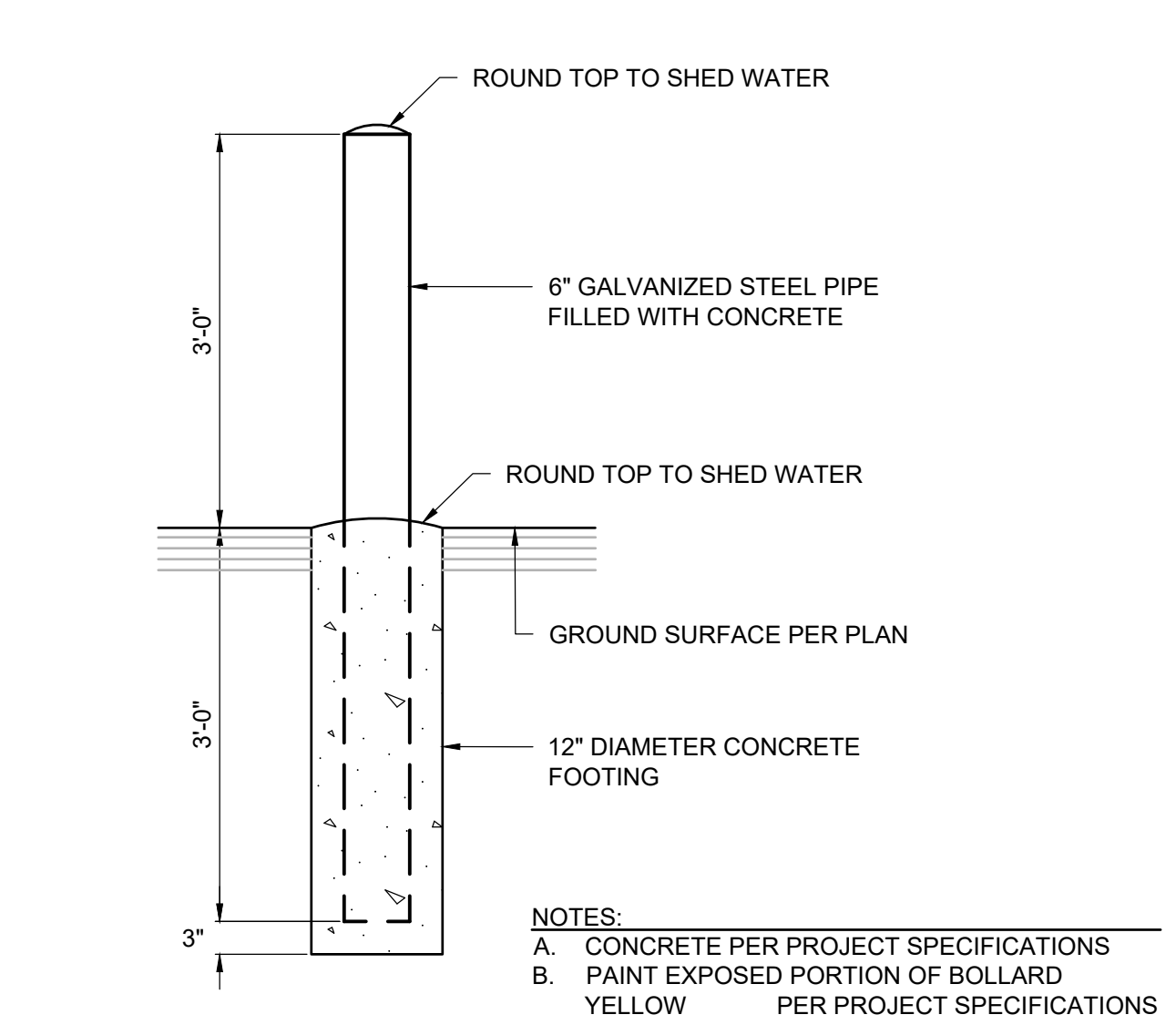
13 PARALLEL CURB RAMPS
 C5.10 NTS



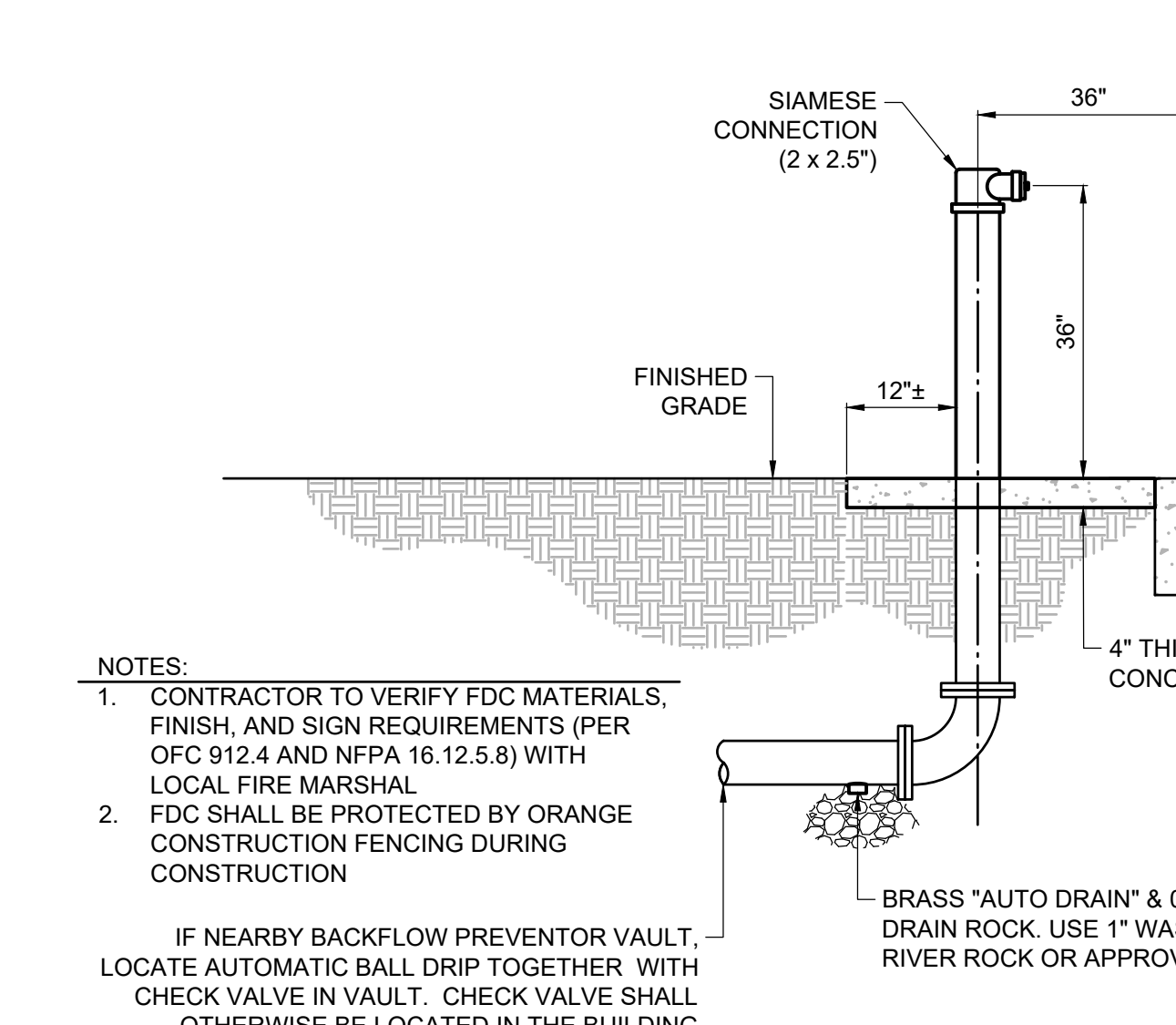
13 PARALLEL CURB RAMPS
 C5.10 NTS



14 STOP SIGN
 C5.10 N.T.S.



15 6" PIPE BOLLARD
 C5.10 NTS



16 FIRE DEPARTMENT CONNECTION
 C5.10 NTS

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
CIVIL DETAILS

DRAWN BY: AOC, BMR
 CHECKED BY: BMR, BDN
 SHEET

C5.10

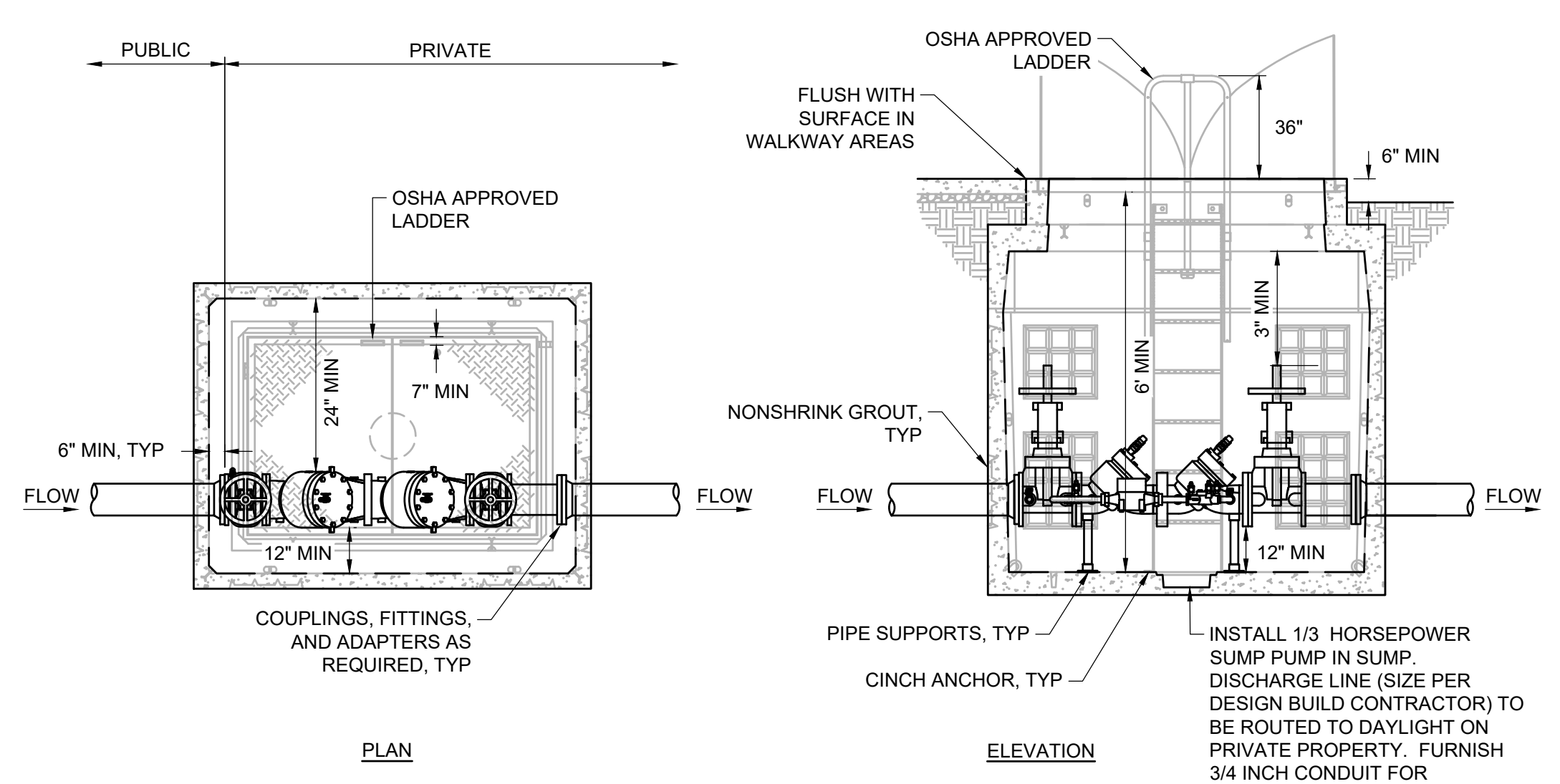
JOB NO. **2200502.04**

BACKFLOW PREVENTER SHALL BE APPROVED BY THE STATE HEALTH DEPARTMENT AND PLUMBING CODE

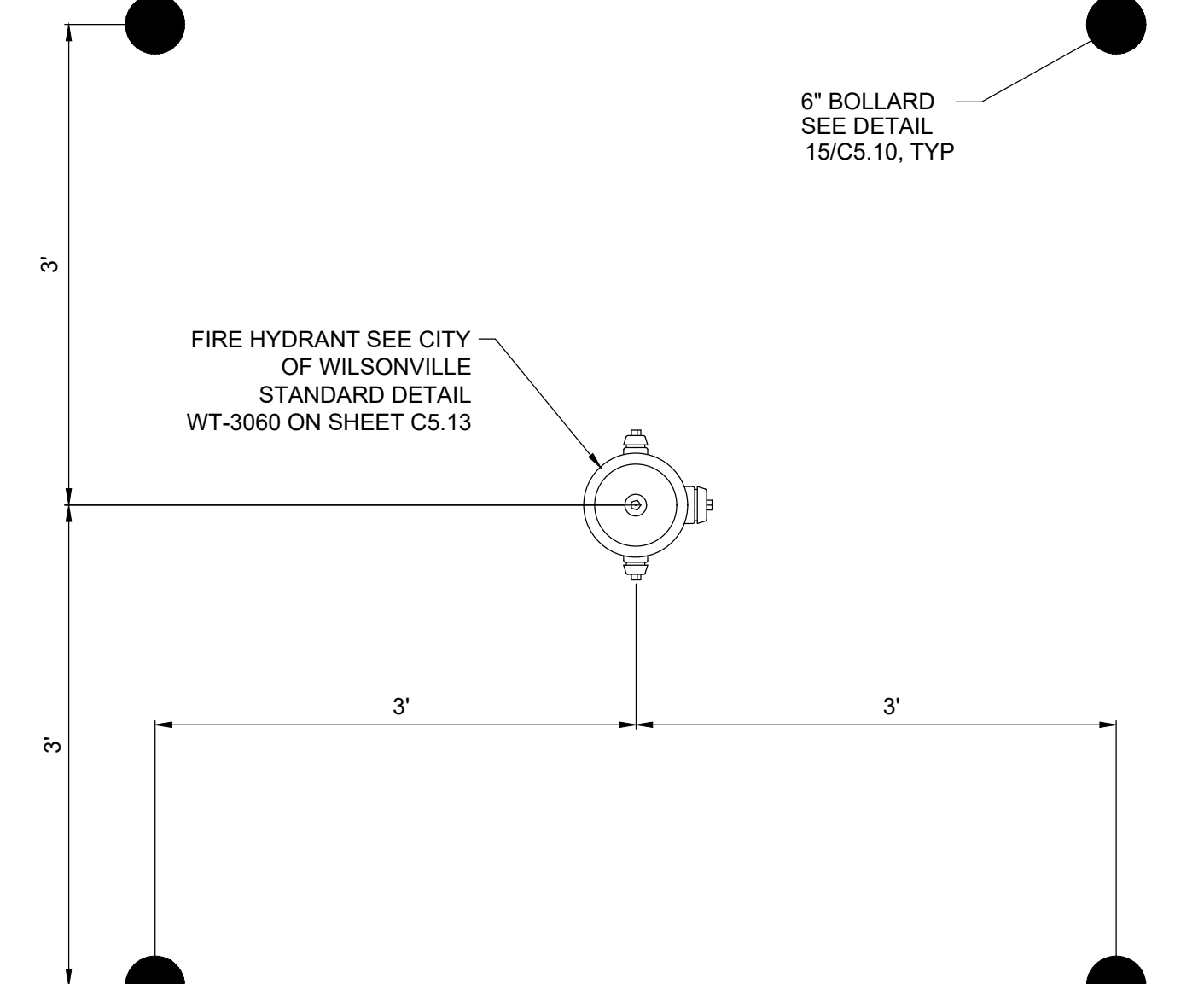
VAULT SHALL BE PRECAST CONCRETE WITH GALVANIZED HINGED ACCESS DOORS (OLDCASTLE, OR EQUAL)

VAULT SHALL BE MECHANICALLY LOCKED AND VALVES SHALL BE PROVIDED WITH ELECTRONIC TAMPER SWITCHES

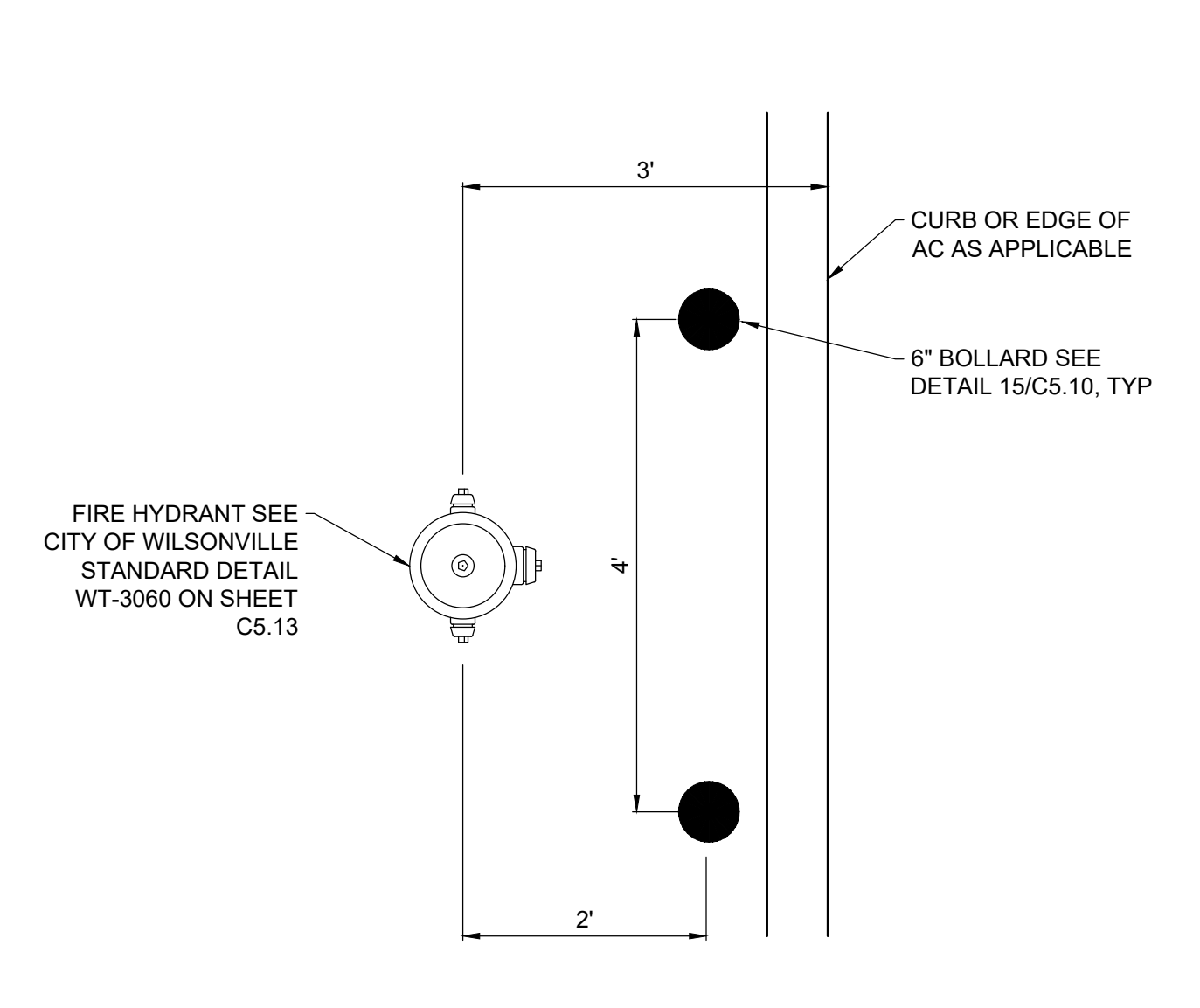
APPROXIMATE VAULT SIZES	BACKFLOW (DIAMETER)	VAULT (OUTSIDE)
3 INCH	7'-0" (L) 4'-8" (W) 7'-0" (H)	
4 INCH	7'-0" (L) 4'-8" (W) 7'-0" (H)	
6 INCH	7'-9" (L) 6'-3" (W) 7'-2" (H)	
8 INCH	8'-8" (L) 6'-8" (W) 8'-1" (H)	
10 INCH	8'-8" (L) 6'-8" (W) 8'-1" (H)	



DOUBLE CHECK VALVE AND VAULT (3" AND LARGER)
C5.11 N.T.S.

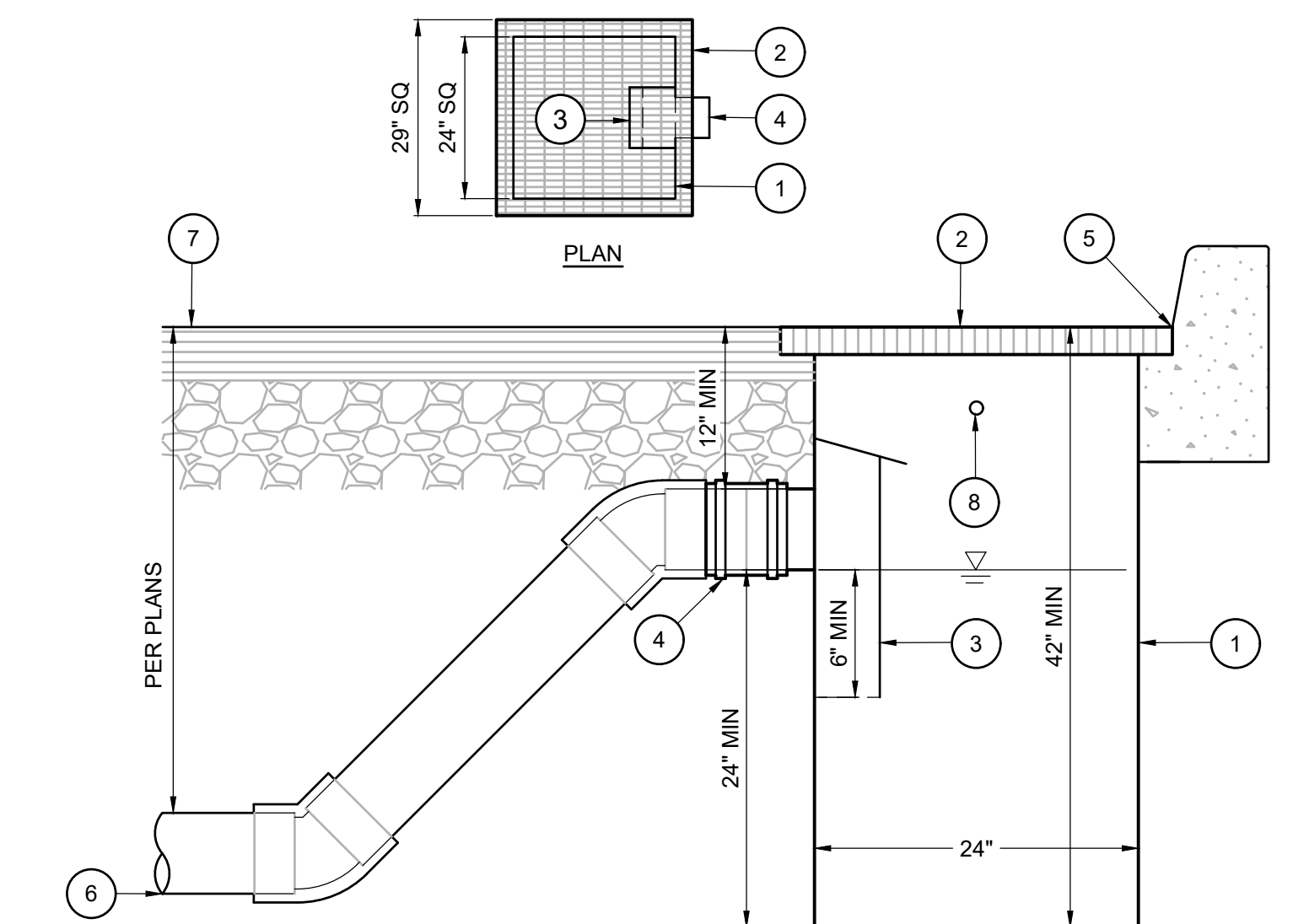


FIRE HYDRANT (4) BOLLARD PROTECTION
C5.11 N.T.S.



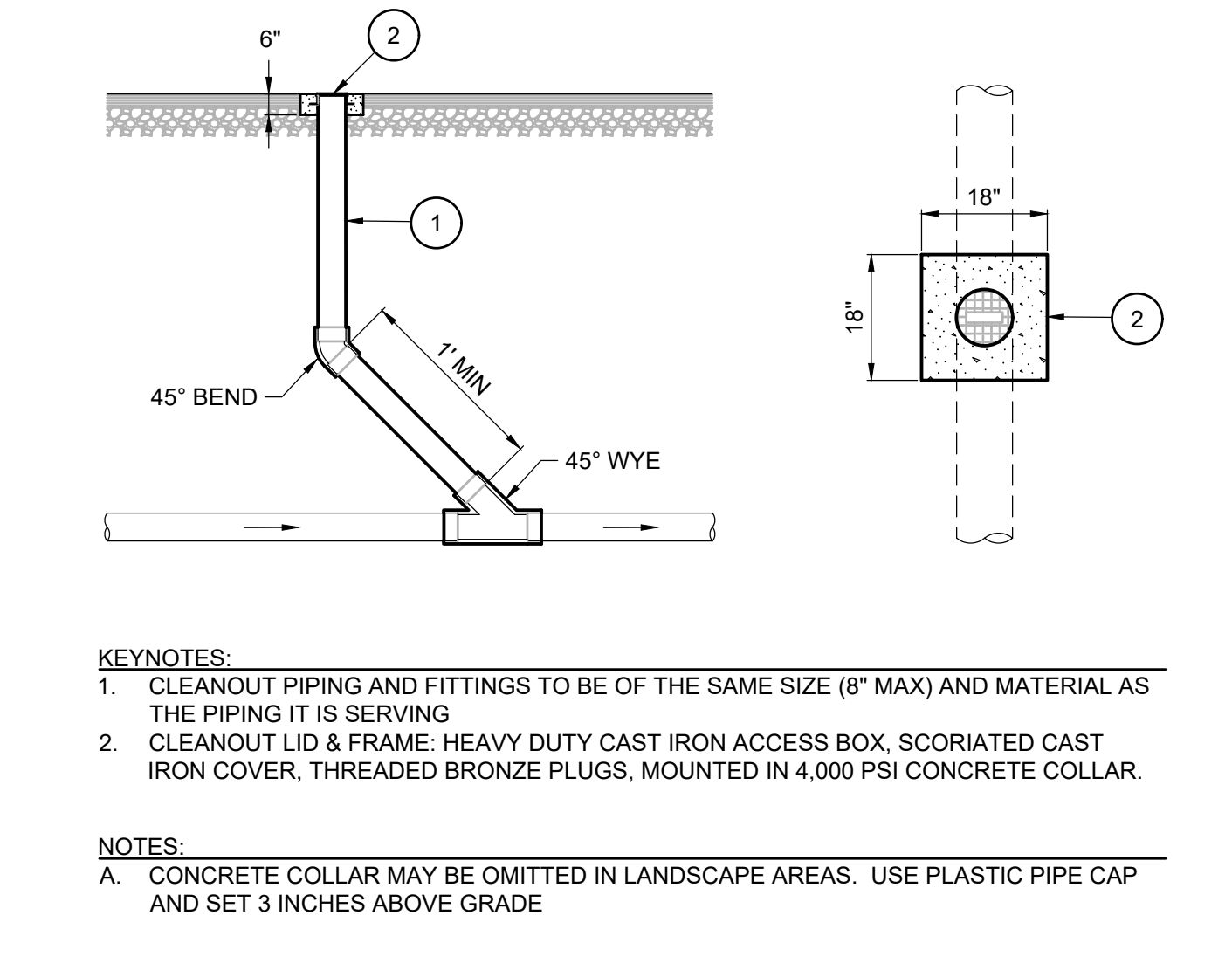
FIRE HYDRANT BOLLARD PROTECTION
C5.11 N.T.S.

NOT USED
C5.11 N.T.S.

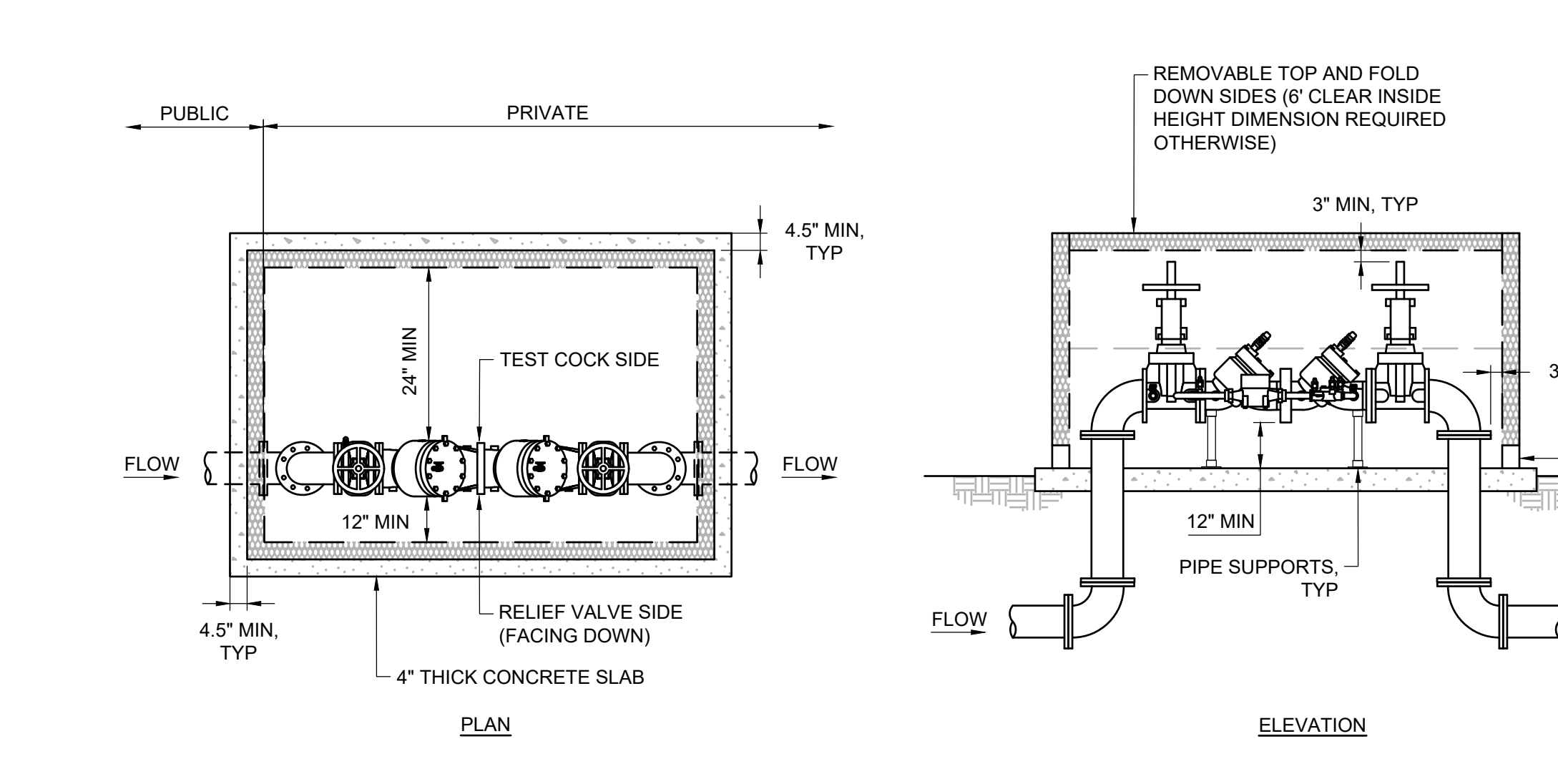


STEEL CATCH BASIN
C5.11 N.T.S.

- KEYNOTES:**
1. PREFABRICATED, ASPHALT DIPPED, 10 GAUGE STEEL SUMPED CATCH BASIN WITH INTEGRAL GRATE FRAME.
 2. GRATE: HEAVY DUTY CAST IRON (ASTM A 48, CLASS 30B) BICYCLE SAFE.
 3. SEDIMENT TRAP WITH HINGED LID.
 4. INSTALL FLEXIBLE CLAMPED COUPLING ON INTEGRAL CATCH BASIN OUTLET. IMMEDIATELY TURN DOWN PIPING AT 45 DEGREES TO INTERSECT WITH THE SITE PIPING.
 5. LOCATE CATCH BASIN SUCH THAT THE EDGE OF GRATE FRAME IS IN LINE WITH THE ABUTTING CURBLINE (WHERE APPLIES).
 6. PIPE SIZE, INVERT, AND SLOPE PER PLANS.
 7. PAVING SECTION PER PLANS.
 8. 1/2 INCH TO 1 INCH DIAMETER WEEPHOLES, MINIMUM 1 PER SIDE. CONTRACTOR SHALL VERIFY COMPLIANCE WITH LOCAL JURISDICTION PRIOR TO PROCURING MATERIALS.
- NOTES:**
- A. ALL PRODUCTS USED SHALL BE COMPLIANT WITH BOTH THE UNIFORM AND LOCAL JURISDICTION PLUMBING CODES.
 - B. WHERE ABUTTING CURBING, GRATE SHALL BE ORIENTED SO THAT THE ELONGATED PATTERN IS PERPENDICULAR TO THE CURB FACE.

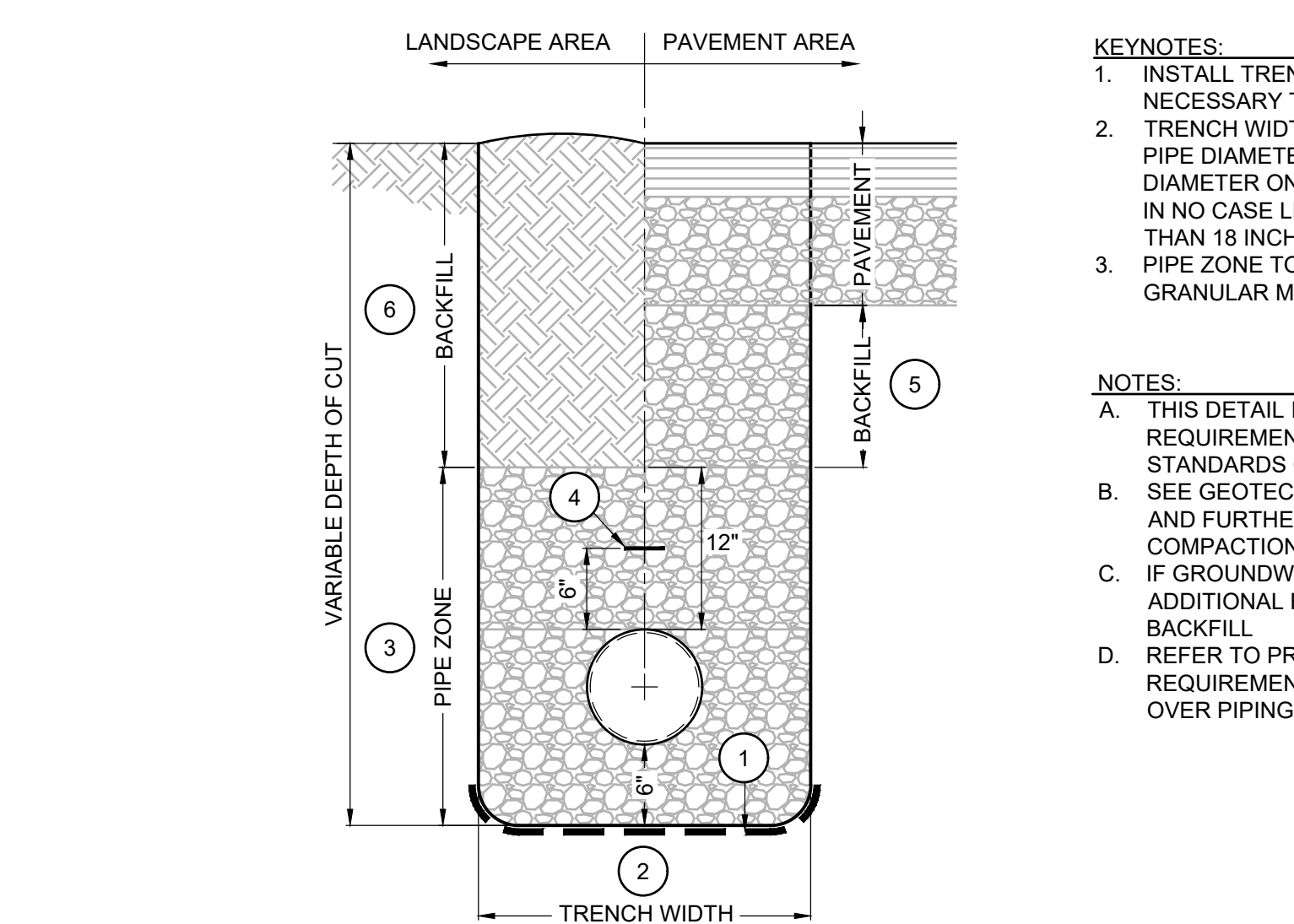


CLEANOUT
C5.11 N.T.S.



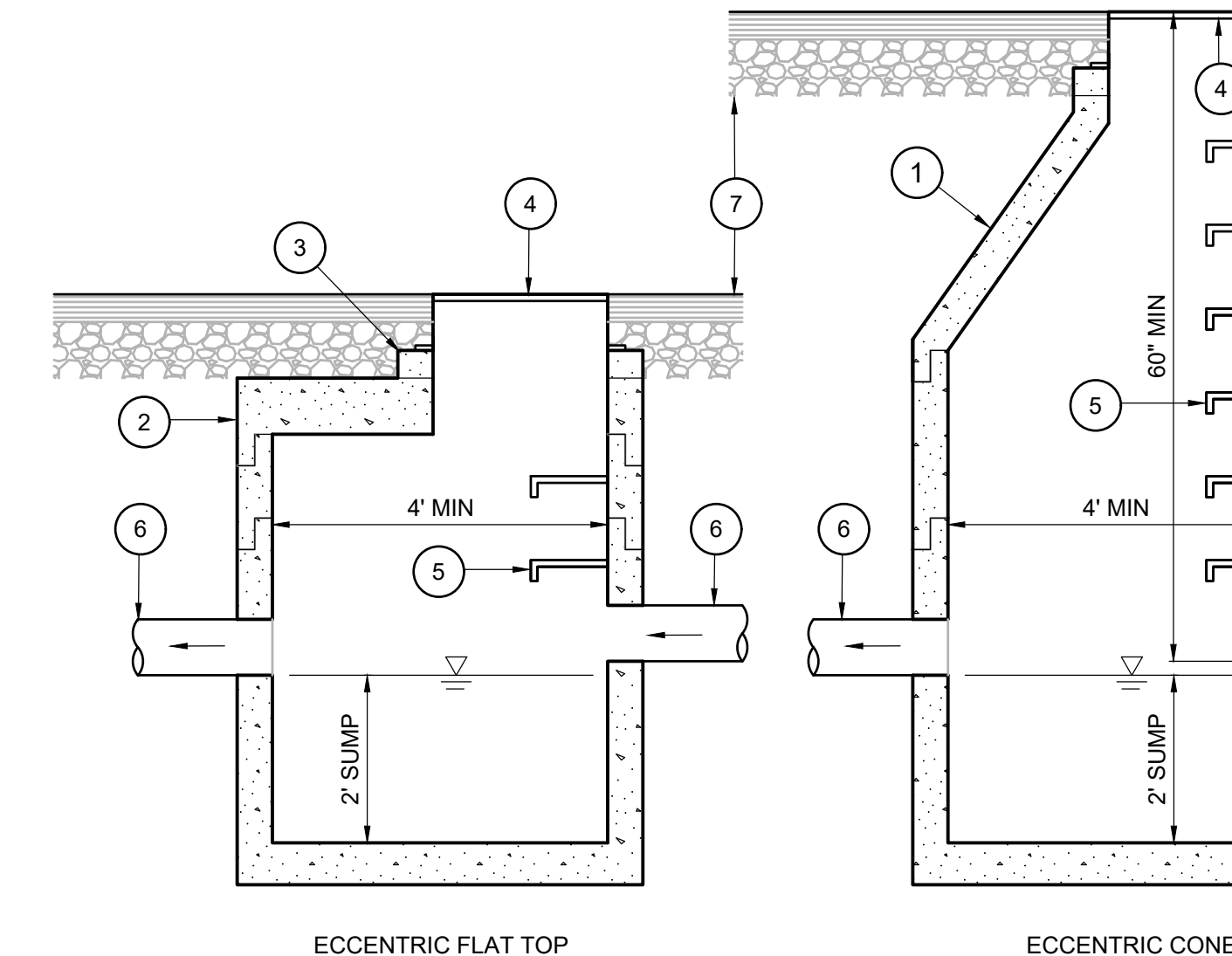
REDUCED PRESSURE BACKFLOW AND ENCLOSURE (3" AND LARGER)
C5.11 N.T.S.

- BACKFLOW PREVENTER SHALL BE APPROVED BY THE STATE HEALTH DEPARTMENT AND PLUMBING CODE
- ENCLOSURE SHALL BE WEATHERPROOF, INSULATED, AND HEATED (HOTBOX, OR EQUAL)



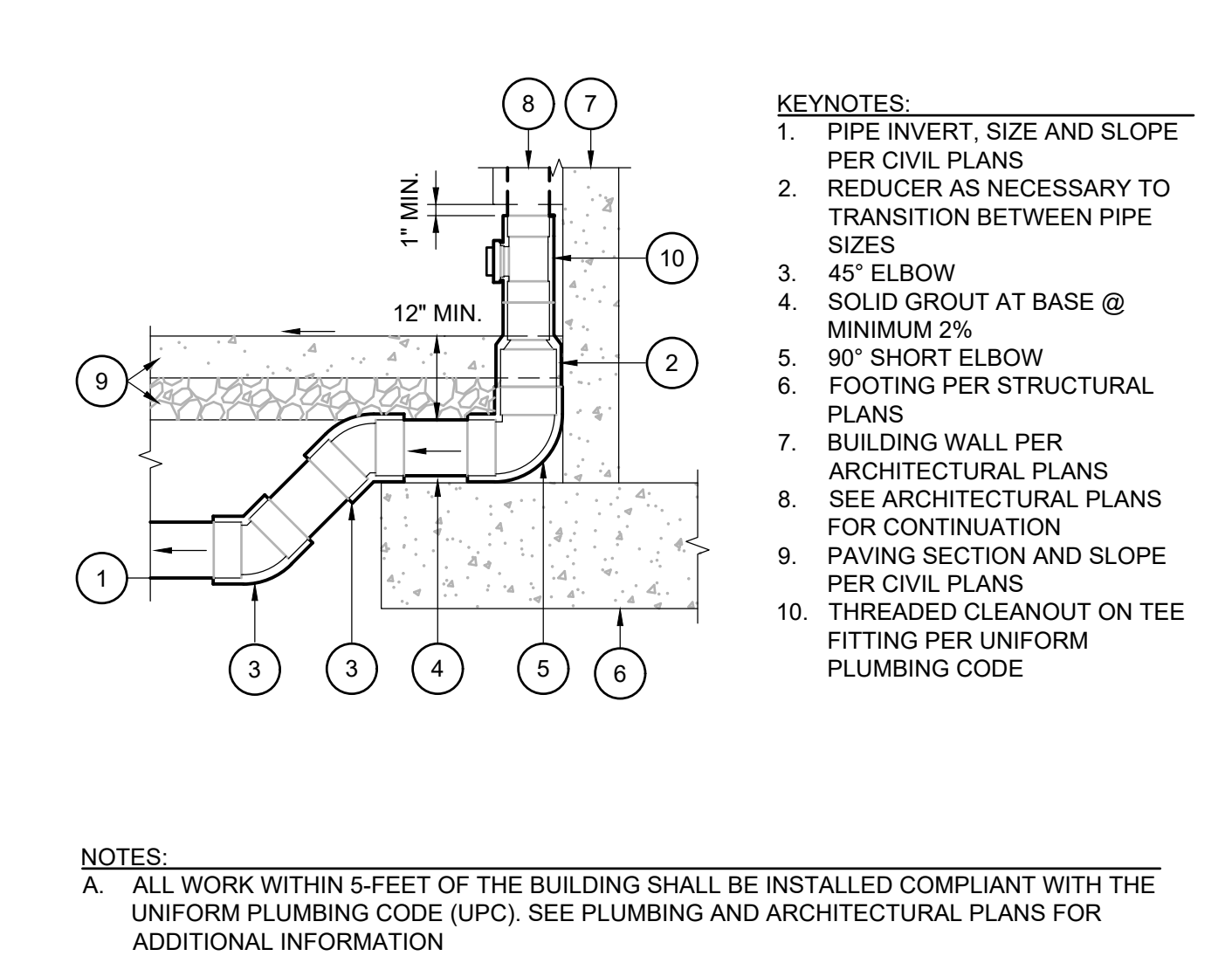
UTILITY TRENCH BEDDING & BACKFILL
C5.11 N.T.S.

- KEYNOTES:**
1. INSTALL TRENCH STABILIZATION AS NECESSARY TO OBTAIN COMPACTION.
 2. TRENCH WIDTH SHALL ACCOMMODATE THE PIPE DIAMETER PLUS ONE ADDITIONAL PIPE DIAMETER ON EITHER SIDE OF THE PIPE, BUT IN NO CASE LESS THAN 6 INCHES OR MORE THAN 18 INCHES.
 3. PIPE ZONE TO CONSIST OF IMPORTED GRANULAR MATERIAL.
 4. TRACER WIRE PER PROJECT SPECIFICATIONS.
 5. BACKFILL IN PAVEMENT AREAS WITH IMPORTED GRANULAR MATERIAL TO PAVEMENT SUBGRADE ELEVATION.
 6. BACKFILL IN LANDSCAPE AREAS WITH NATIVE MATERIAL TO PLANTER SUBGRADE ELEVATION. MOUND TOP TO SHED AT 2% EACH DIRECTION.
- NOTES:**
- A. THIS DETAIL IS FOR USE ON PRIVATE PROPERTY ONLY. TRENCHING AND BACKFILL REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLIANT WITH THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION.
 - B. SEE GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS FOR RECOMMENDED MATERIALS AND FURTHER REQUIREMENTS (I.E. SIZE AND GRADATION OF GRANULAR MATERIALS, MINIMUM COMPACTION, MAXIMUM LIFT PLACEMENT, TRACER WIRE, ETC.)
 - C. IF GROUNDWATER IS ENCOUNTERED, CONSULT THE GEOTECHNICAL ENGINEER OF RECORD FOR ADDITIONAL RECOMMENDATIONS WITH REGARD TO TRENCHING, PIPE PLACEMENT, AND BACKFILL.
 - D. REFER TO PROJECT SPECIFICATIONS FOR MINIMUM PIPE COVER AND ALTERNATE MATERIAL REQUIREMENTS. CONTRACTOR SHALL PREVENT CONSTRUCTION VEHICLES FROM DRIVING OVER PIPING WITH LESS THAN 12" COVER AT ANY POINT IN TIME DURING CONSTRUCTION.



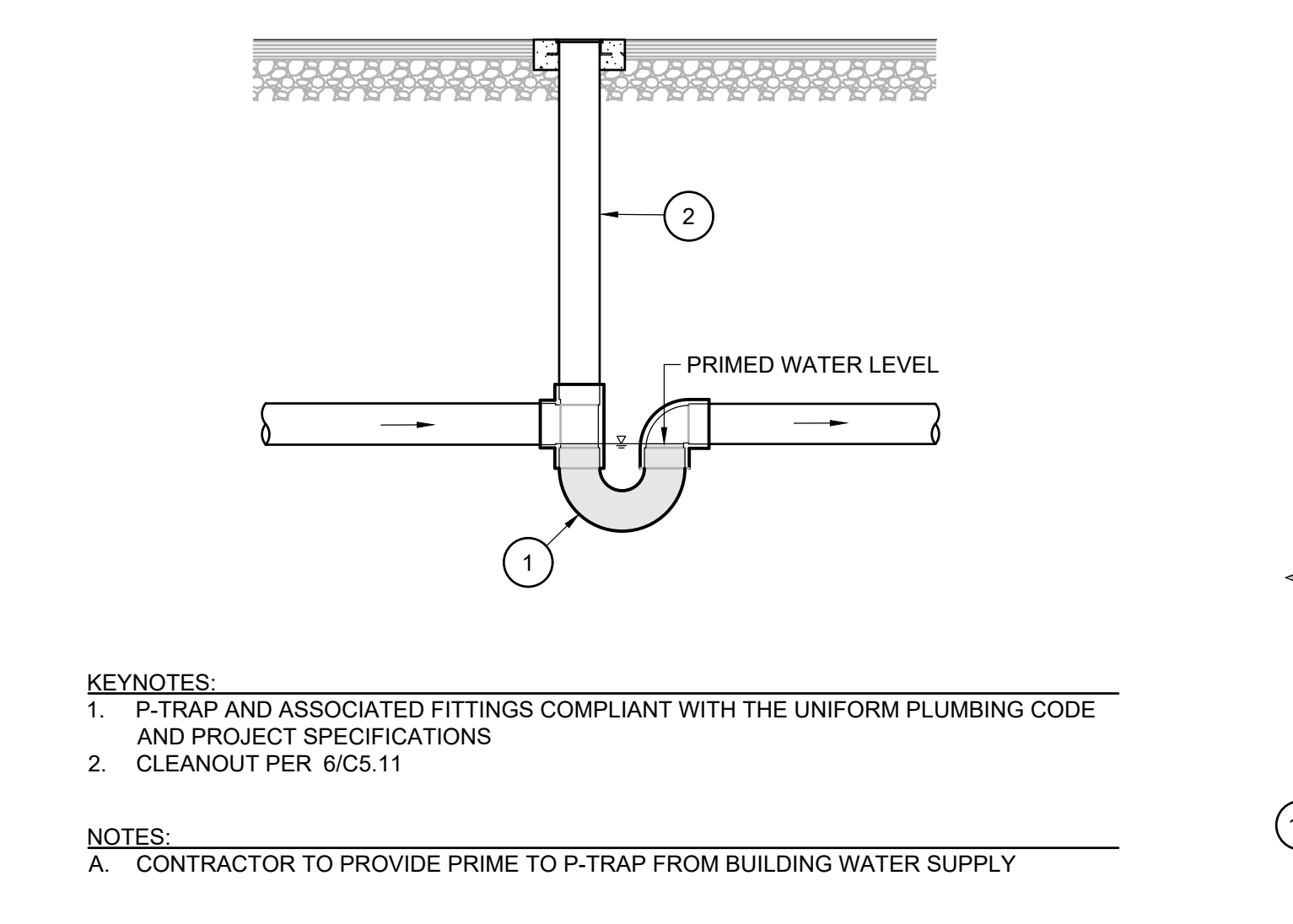
STORM SEWER MANHOLES
C5.11 N.T.S.

- KEYNOTES:**
1. 48" MIN DIAMETER PRECAST CONCRETE MANHOLE WITH ECCENTRIC CONE.
 2. 48" MIN DIAMETER PRECAST CONCRETE FLAT TOP MANHOLE (USED WHEN LESS THAN 60" AVAILABLE FROM PIPE INVERT TO RIM). CONCENTRIC LID SHALL BE USED AND STEPS SHALL BE OMITTED WHEN DEPTH FROM RIM TO INVERT IS LESS THAN 3 FEET.
 3. PRECAST CONCRETE GRADE RING AS REQUIRED TO ACCOMMODATE PAVING SECTION (12" TOTAL MAX).
 4. MANHOLE FRAME AND COVER PER PROJECT SPECIFICATIONS, RIM ELEVATION PER PLANS.
 5. 6 1/2" MIN LONG MANHOLE STEPS AT 12" ON CENTER PER PROJECT SPECIFICATIONS. LOCATE WITHIN 24" OF COVER AND FLOOR OF MANHOLE, AND A MINIMUM OF 5" FROM PRECAST SECTION JOINT.
 6. PIPE SIZE, INVERT, AND SLOPE PER PLANS.
 7. PAVING SECTION PER PLANS.
- NOTES:**
- A. MANHOLE DIAMETER SHALL BE INCREASED, IF REQUIRED, TO PROVIDE A MINIMUM OF 12" SEPARATION BETWEEN PIPE CONNECTIONS, OR WHEN ANY PIPE DIAMETER IS GREATER THAN 1/2 THE DIAMETER OF THE MANHOLE.
 - B. MANHOLE ACCESS COVER SHALL NOT BE LOCATED DIRECTLY OVER A PIPE CONNECTION UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - C. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MANHOLES FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO PROCURING MATERIALS.
 - D. SELECTED MANHOLE SHALL MEET THE CRITERIA OF THE PROJECT SPECIFICATIONS AND BE INSTALLED ACCORDINGLY.
 - E. INLET AND OUTLET PIPES CONNECTIONS SHALL BE COMPLIANT WITH PROJECT SPECIFICATIONS OR THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION, WHICHEVER IS MOST STRINGENT.

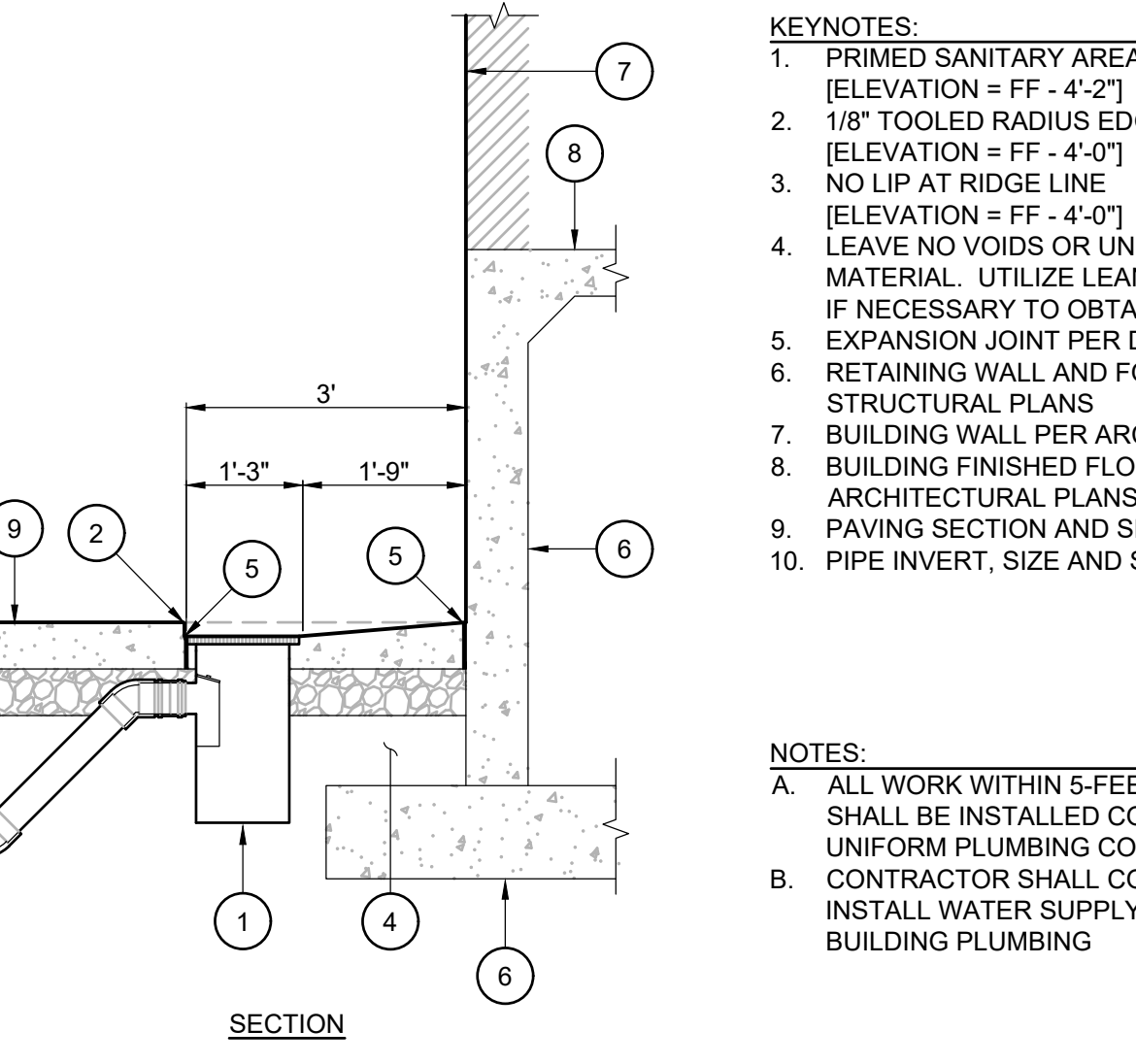


DOWNSPOUT
C5.11 N.T.S.

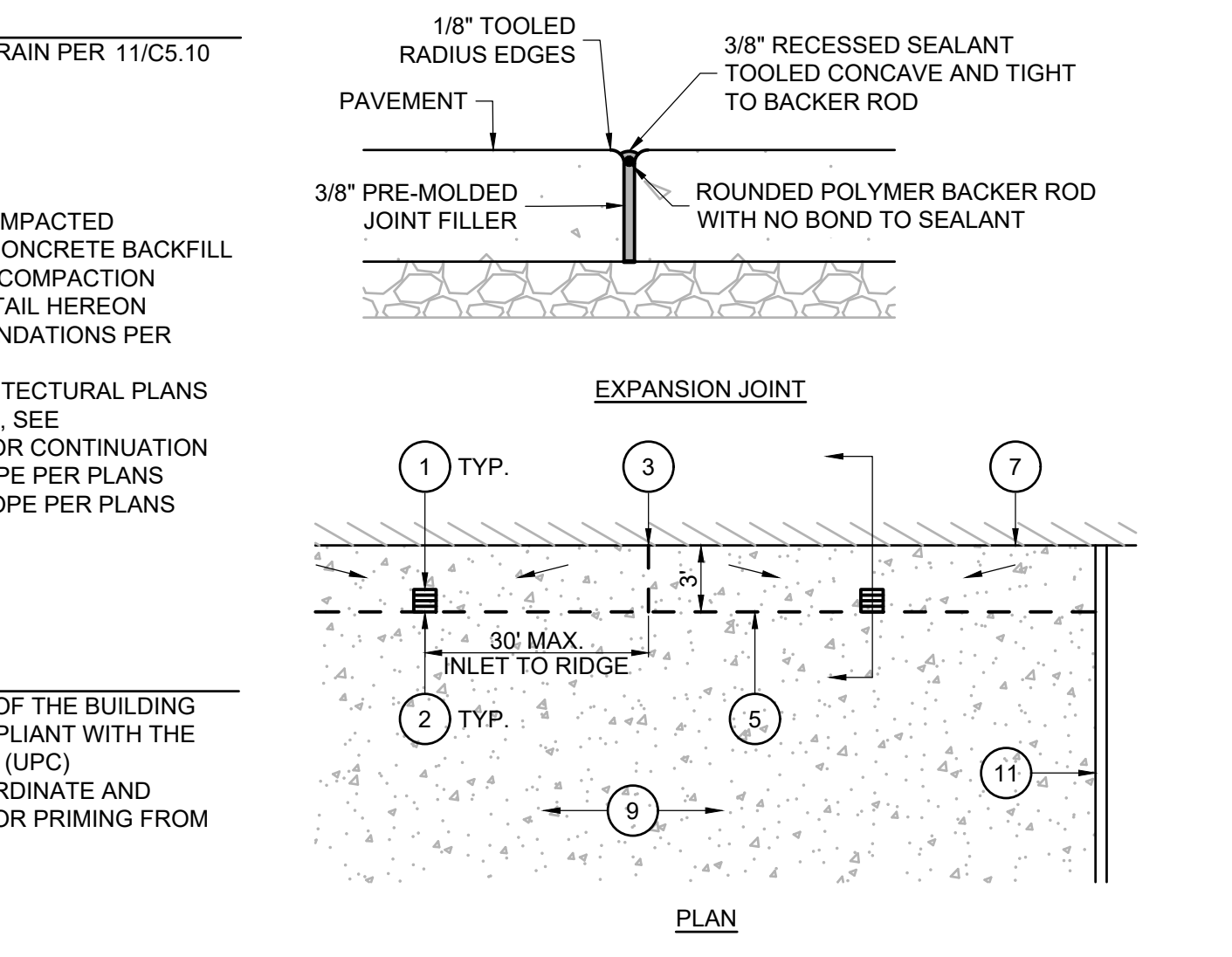
- KEYNOTES:**
1. PIPE INVERT, SIZE AND SLOPE PER CIVIL PLANS.
 2. REDUCER AS NECESSARY TO TRANSITION BETWEEN PIPE SIZES.
 3. 45° ELBOW.
 4. SOLID GROUT AT BASE @ MINIMUM 2%.
 5. 90° SHORT ELBOW.
 6. FOOTING PER STRUCTURAL PLANS.
 7. BUILDING WALL PER ARCHITECTURAL PLANS.
 8. SEE ARCHITECTURAL PLANS FOR CONTINUATION.
 9. PAVING SECTION AND SLOPE PER CIVIL PLANS.
 10. THREADED CLEANOUT ON TEE FITTING PER UNIFORM PLUMBING CODE.



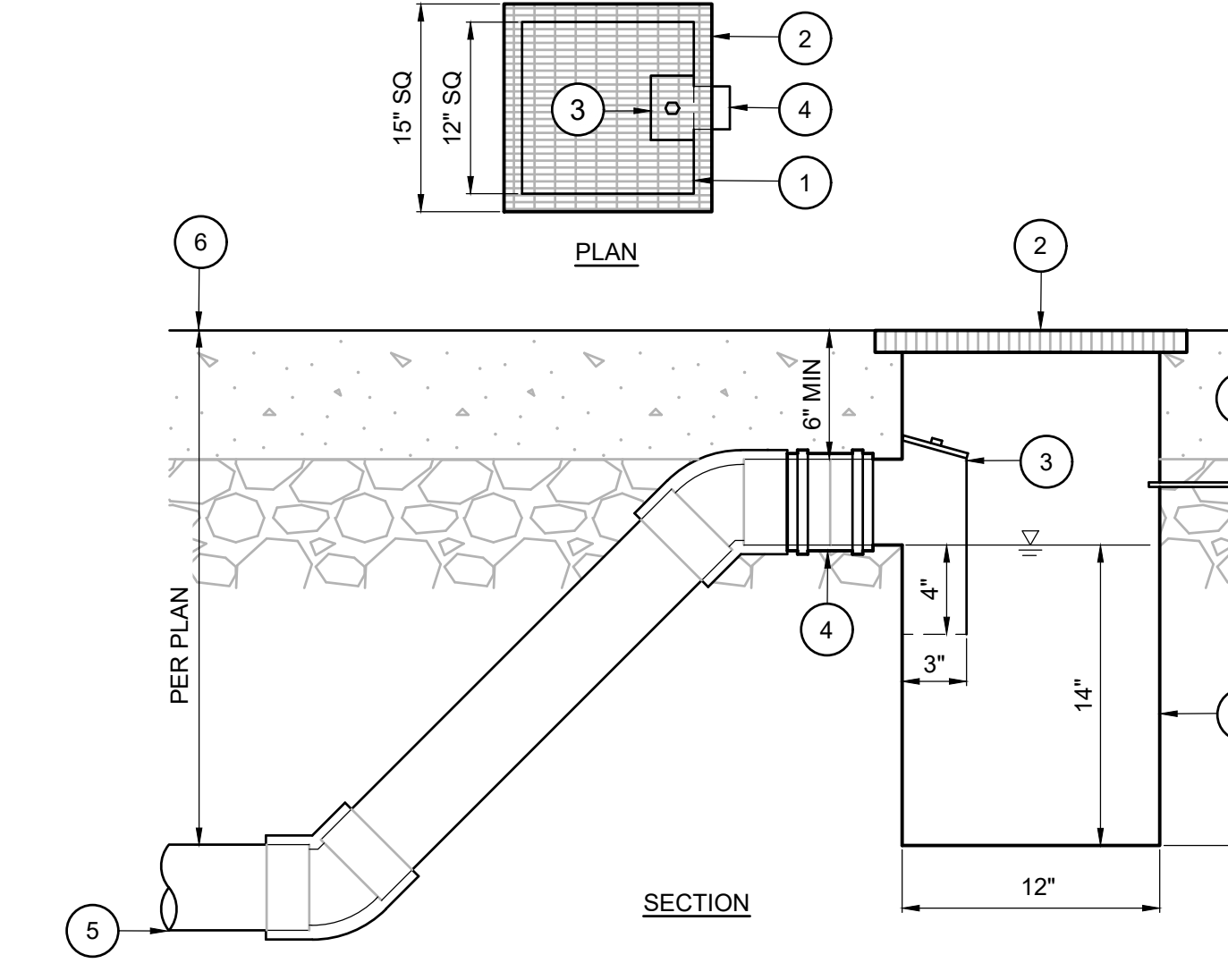
P-TRAP
C5.11 N.T.S.



LOADING DOCK ISOLATION ROW
C5.11 N.T.S.



SANITARY AREA DRAIN
C5.11 N.T.S.



- KEYNOTES:**
1. PREFABRICATED, ASPHALT DIPPED, 10 GAUGE STEEL SUMPED AREA DRAIN WITH INTEGRAL GRATE FRAME.
 2. "HEEL-PROOF", HEAVY DUTY REMOVABLE TRAFFIC GRATE CAPABLE OF SUPPORTING H20 LOADING.
 3. SEDIMENT TRAP WITH BRASS SCREW CAP (NO HINGE).
 4. INSTALL FLEXIBLE CLAMPED COUPLING ON INTEGRAL AREA DRAIN OUTLET. IMMEDIATELY TURN DOWN PIPING AT 45 DEGREES TO INTERSECT WITH THE SITE PIPING.
 5. PIPE SIZE, INVERT, AND SLOPE PER PLANS.
 6. PAVING SECTION PER PLANS.
 7. PRIMED WATER SUPPLY.
- NOTES:**
- A. ALL PRODUCTS USED SHALL BE COMPLIANT WITH BOTH THE UNIFORM AND LOCAL JURISDICTION PLUMBING CODES.
 - B. CONTRACTOR SHALL COORDINATE AND INSTALL WATER SUPPLY FOR PRIMING FROM BUILDING PLUMBING.

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Delta	Issued As	Issue Date
1	PLAN CHECK	06/10/2022

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CIVIL DETAILS

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CHECKED BY: BMR, BDN
SHEET

C5.11

JOB NO. 2200502.04

REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	11/15/2022

SHEET TITLE:
CIVIL DETAILS

DRAWN BY: AOC, BMR

CHECKED BY: BMR, BDN

SHEET

C5.13

JOB NO. **2200502.04**

PLAN VIEW

SECTION A-A

STORMFILTER STEEL CATCHBASIN DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 2 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF TWO CARTRIDGES. SYSTEM IS SHOWN WITH A 2" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 1" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	2"		1"		1" DEEP	
RECOMMENDED HYDRAULIC DROP (H)	3.05'	2.3'	3.3'	2.3'	3.3'	1.0'
SPECIFIC FLOW RATE (gpm/ft ²)	2 gpm/ft ²	1.67 gpm/ft ²	1 gpm/ft ²	2 gpm/ft ²	1.67 gpm/ft ²	1 gpm/ft ²
CARTRIDGE FLOW RATE (gpm)	22.6	18.79	11.25	15	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.0	1.0	1.0	1.0
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-0"	4'-0"	3'-0"	3'-0"	3'-0"	4'-0"

* 1.67 gpm/ft² SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHORUS[®] (PSCRB) MEDIA ONLY

GENERAL NOTES

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTACT ENGINEER'S SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHES.COM
- STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
- MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SHEET.
- STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 16 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
- STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET A536 M300 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7 INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES

- ANY SUBGRADE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

2-CARTRIDGE DEEP CATCHBASIN STORMFILTER DATA

STRUCTURE ID	CBA
WATER QUALITY FLOW RATE (cfs)	0.073
PEAK FLOW RATE (C1 E-05)	0.24
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (gpm)	44.0
MEDIA TYPE (PERLITE, ZPC, PSCORB)	ZPC
RIM ELEVATION	246.89'

PIPE DATA

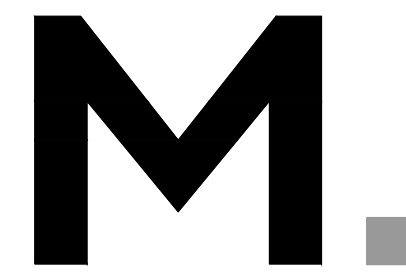
INLET STUB	I.E.	DIAMETER
OUTLET STUB	243.93'	8"

CONFIGURATIONS

SECTION B-B

2 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

CONTECH ENGINEERED SOLUTIONS LLC
 www.conteches.com
 8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
 800-326-3699 513-640-7000 513-640-7000 FAX



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FRONTAGE
IMPROVEMENTS
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CITY OF
WILSONVILLE, OR



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:

**NOTES,
LEGEND, AND
ABBREVIATIONS**

DRAWN BY: AOC, BMR

CHECKED BY: BMR, BDN

SHEET

R0.01

JOB NO. **2200502.04**

LAND USE RESUBMITTAL 07/26/22

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF CITY OF WILSONVILLE, CITY OF WILSONVILLE PUBLIC WORKS STANDARDS-2017 AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED TO MEET THE CITY REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CITY OF WILSONVILLE, DEPARTMENT OF ENVIRONMENTAL SERVICE, AND THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE AND THE INTERNATIONAL BUILDING CODE. ALL WORK WITHIN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE.
- ALL STORM PIPING IS SIZED FOR A MANNING'S "N" VALUE = 0.013 ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY PREPARED BY WEDDLE SURVEYING, INC.
- CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER VIA DESIGN BUILD ELECTRICAL. SEE SPECIFICATIONS AND LANDSCAPE PLANS.
- SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5' OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
- CONTRACTOR TO MAINTAIN MINIMUM 3 FT OF COVER OVER ALL WATER LINE.

GRADING NOTES

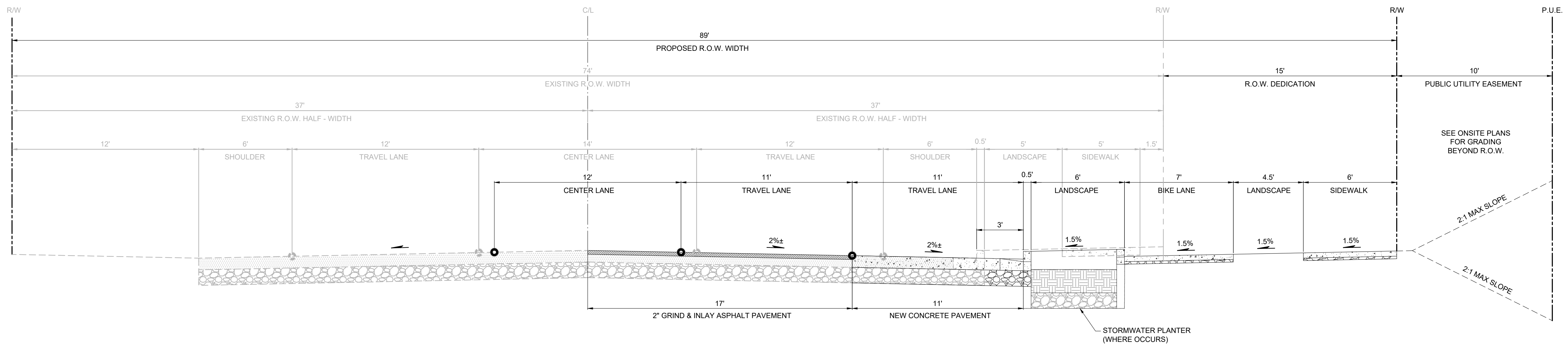
- ROUGH GRADING:** BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS, AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.
FINISH GRADING: AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER CRAFTS HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES.
GRADING TOLERANCES:
ROUGH GRADE AT PAVED OR LANDSCAPED AREAS: ±0.1 FT.
FINISH GRADE PRIOR TO PLACING FINAL SURFACING: ±0.03 FT.
- EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE CITY AND DEQ REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY BY NORTHWEST SURVEYING INC. AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH HIS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION.
- CONTRACTOR TO COORDINATE GRADES AT ENTRANCE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- 2% MAXIMUM CROSS SLOPE AT ALL ADA-COMPLIANT PARKING SPACES AND LOADING ZONES.
- 5% MAX LONGITUDINAL SLOPE (EXCLUDING RAMPS) AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.
- WHERE SLOPES ARE STEEPER THAN 3:1, CONTRACTOR SHALL INSTALL JUTE MATTING. SLOPE SHALL BE PREPARED TO ENSURE COMPLETE AND DIRECT CONTACT OF MATTING WITH SOIL. FOLLOW MANUFACTURER'S RECOMMENDATIONS.

LEGEND

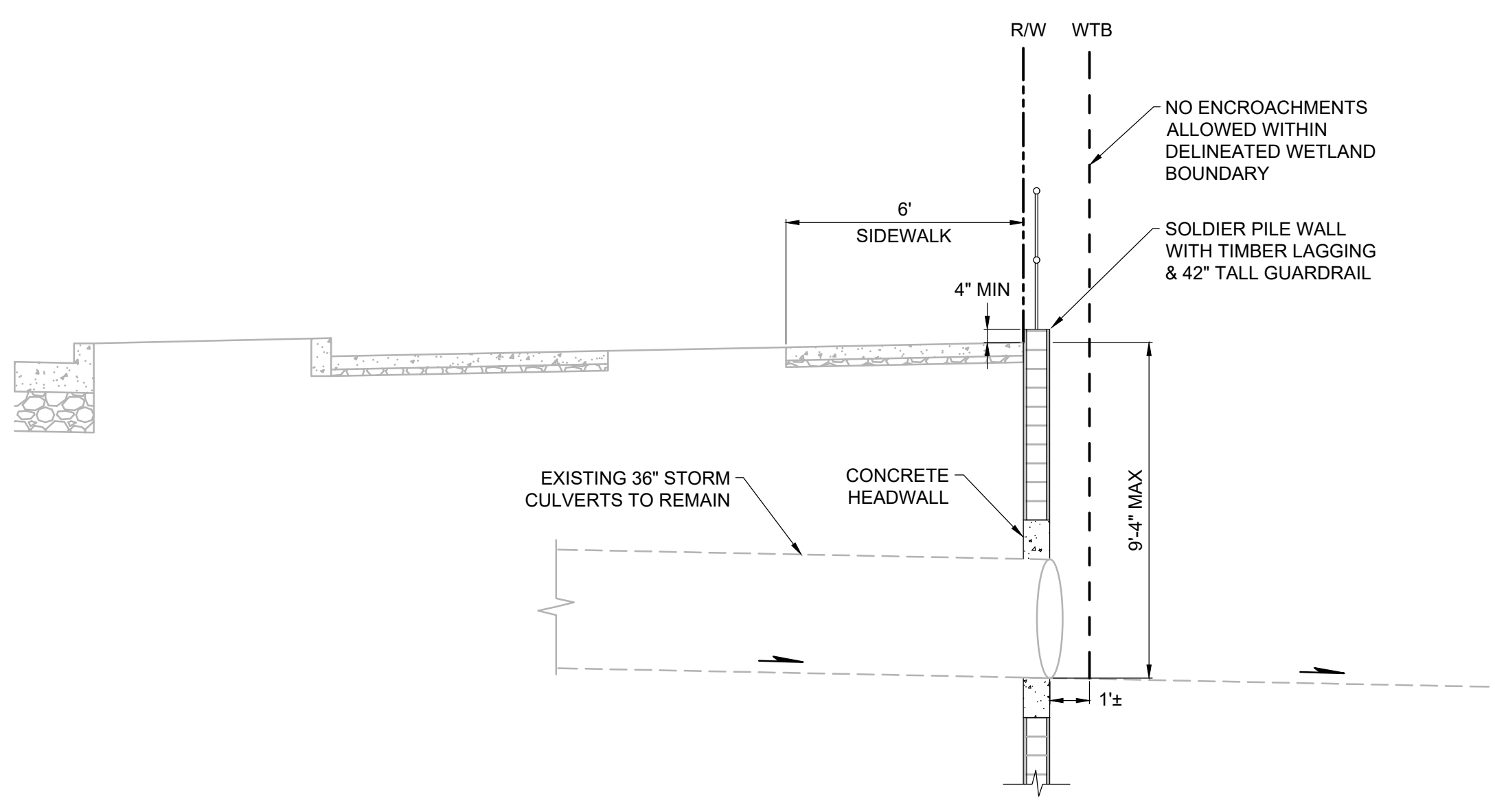
	EXISTING	PROPOSED
CURBLINE AND GUTTER		
BRUSH LINE		
BUILDING EAVE		
BUILDING FOOTPRINT		
CENTERLINE		
EASEMENT LINE		
FENCE LINE		
GAS LINE		
OVERHEAD POWER		
STORM DRAIN LINE		
PERFORATED PIPE		
PROPERTY LINE		
R.O.W. LINE		
WATER LINE		
WETLANDS		
WETLANDS BUFFER		
CULVER INLET/OUTLET		
CURB INLET		
DECORATIVE SHRUB		
DOWNSPOUT		
FIRE HYDRANT		
GAS METER		
GAS RISER		
GATE POST		
GUY ANCHOR		
MAILBOX		
POWER METER		
SIGN "AS NOTED"		
SITE BENCHMARK		
STORM DRAIN MANHOLE		
SURVEY MONUMENTS FOUND		
SURVEY MONUMENTS SET		
UTILITY LID		
WATER METER		
WATER RISER		
WATER VALVE		
WATER VAULT		
WETLANDS BUFFER/ LINE STAKES		
POWER POLE		
SIDEWALK		
CONFEROUS TREE		
DECIDUOUS TREE		

ABBREVIATIONS

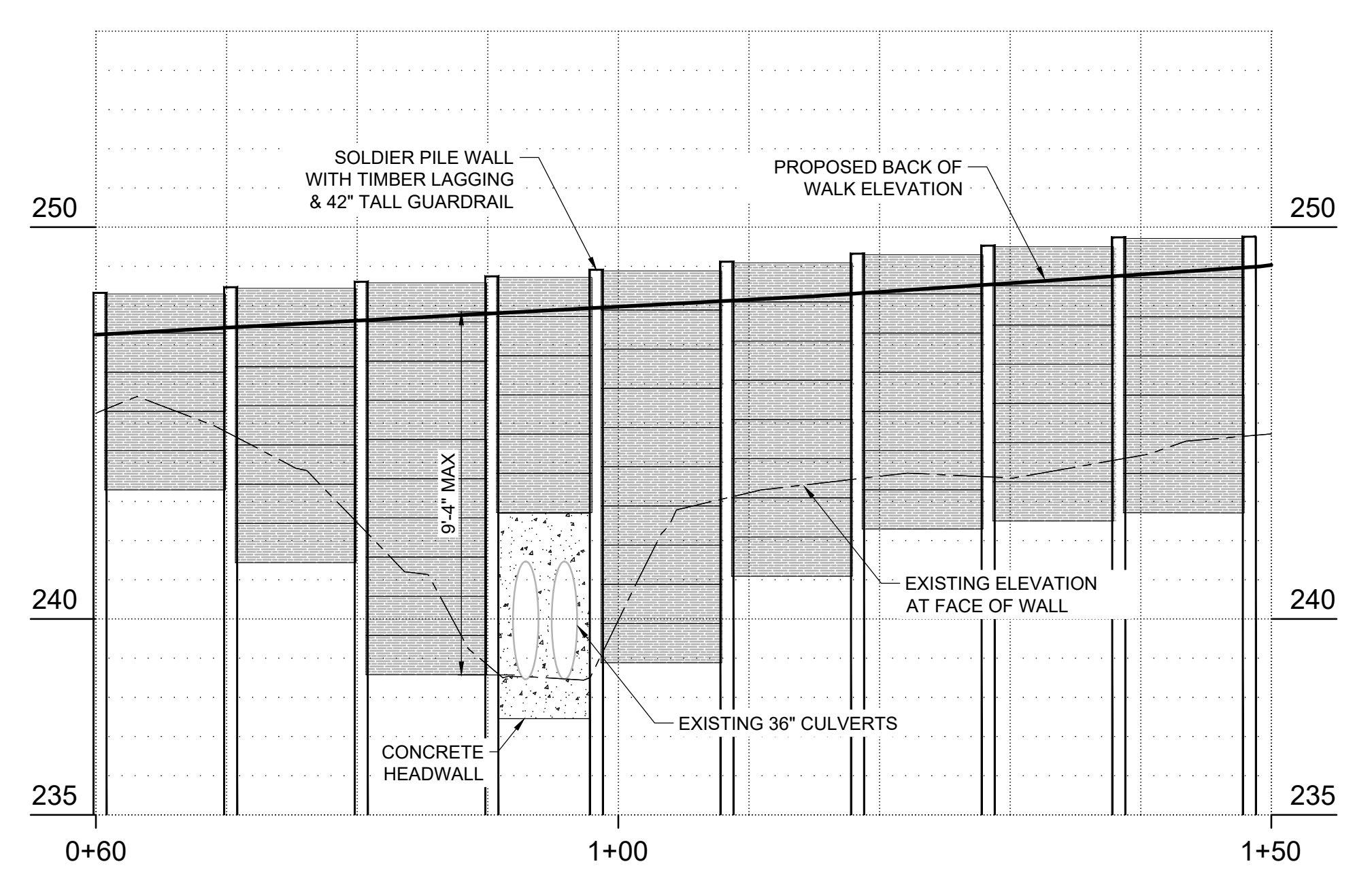
TC	TOP OF CURB	WM	WATER METER
AC	ASPHALT	OH	OVERHEAD WIRE
FH	FIRE HYDRANT	SSWR	SANITARY SEWER
FG	FINISHED GRADE	MH	MANHOLE
SW	SIDEWALK ELEVATION	IE	INVERT ELEVATION
TS	TOP OF STAIR	CB	CATCH BASIN
BS	BOTTOM OF STAIR	STM	STORM
TYP	TYPICAL	RD	ROOF DRAIN
R.O.W.	RIGHT OF WAY	FF/FFE	FINISHED FLOOR ELEVATION
LS	LANDSCAPE	NG	NATURAL GROUND
SROZ	SIGNIFICANT RESOURCE OVERLAY ZONE	CL	CENTERLINE
CO	CLEAN OUT	GPM	GALLONS PER MINUTE
INV	INVERT	FW	FIRE WATER
RD	ROOF DRAIN	PWS	PUBLIC WORKS STANDARDS
COW	CITY OF WILSONVILLE	PUE	PUBLIC UTILITY EASEMENT
		ELEV	ELEVATION



1 TYPICAL SECTION - DAY ROAD
 R0.02 N.T.S.



2 CROSS SECTION - DAY ROAD (CULVERT)
 R0.02 N.T.S.



1 ELEVATION - DAY ROAD (CULVERT)
 R0.02 N.T.S.



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
CROSS SECTIONS

DRAWN BY: CME
 CHECKED BY: GIM
 SHEET

R0.02

JOB NO. **2200502.04**



REVISION SCHEDULE		
Delta	Issued As	Issue Date

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Standard Backfill and Street Repair

TABLE A											
12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"
12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"

NOTES:
1. COMMERCIAL MIXED CLSM MAY BE SUBSTITUTED FOR 3/4"-0 CLASS B BACKFILL ABOVE THE PIPE ZONE.
2. CLSM SHALL BE PLACED TO TOP OF ROAD BASE ROCK.
3. ASPHALT SHALL BE PLACED IN LIFTS NOT EXCEEDING 3" AND COMPACTED TO 92% OF RICE DENSITY GRADE TO BOTTOM OF CONNECTING PIPE.
4. PIPE ZONE BACKFILL MATERIAL SHALL BE COMPACTED TO ASSURE THAT THERE ARE NO UNFILLED OR UNCOMPACTED AREAS AROUND THE PIPE.
5. IF S/W IS AGAINST CURB, FILL ROCK TO BACK OF CURB.
6. IF S/W IS NOT AGAINST CURB, FILL ROCK 2' BACK FROM CURB.
7. 12" TEE CUT TO BE MADE AFTER INSTALLATION AND COMPACTED OF CRUSHED AGGREGATE.
8. ASPHALT GRINDING TO MATCH NEW TOP LIFT THICKNESS.
9. LIFT THICKNESS MINIMUM OF 2" MAXIMUM OF 3" TO BE COORDINATED WITH CITY INSPECTOR.

DRAWING NUMBER: S-2145 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: S-2145.dwg APPROVED BY: NK DATE: 6/4/14

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS

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OFFSET SIDEWALK

CURB TIGHT SIDEWALK

NOTES:
1. SIDEWALK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH "PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY" (PROWAG) JULY, 2011 EDITION.
2. CONCRETE SHALL BE NATURAL IN COLOR, WITH NO COLORING EITHER ADDED TO THE MIX OR APPLIED TO THE FINISH.
3. CURB TIGHT SIDEWALK MAY ONLY BE USED WITH PRIOR APPROVAL FROM THE CITY ENGINEER.
4. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH TRANSVERSE TO THE LINE OF TRAVEL AND ALL EDGES TOOL ROUNDED.
5. NEW SIDEWALK, 6 FEET OR LESS IN WIDTH, SHALL HAVE ALL EDGES 3" WIDE SHINED AFTER BROOMING IN-FILL & REPLACEMENT SIDEWALK SHALL BE FINISHED TO MATCH THE EXISTING SIDEWALK.
6. FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROVELED JOINT WITH A MINIMUM 1/2" RADIUS.
7. SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES CONCRETE OVER 6" OF CRUSHED ROCK AT:
- CURBTIGHT SIDEWALK AT INTERSECTION RADIUS.
- A MINIMUM OF ONE PANEL BEYOND EDGES OF DRIVEWAYS.
8. OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 4" CONCRETE OVER 2" CRUSHED ROCK.
9. DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PLASTIC PIPE AT 2% SLOPE.
10. CONSTRUCTION JOINT TO BE PLACED OVER PIPE.
11. CONCRETE SHALL BE COMMERCIAL MIX, MIN. COMPRESSIVE STRENGTH OF 3300 PSI AT 28 DAYS.
12. BASE ROCK SHALL BE COMPACTED TO PROVIDE A FIRM BASE FOR CONCRETE.
13. SIDEWALK PANELS SHOULD BE SQUARE AND OF CONSISTANT DIMENSION ALONG A BLOCK FACE. THE LENGTH OF A SIDEWALK PANEL SHALL BE ADJUSTED AS NECESSARY TO ALIGN WITH CURB JOINTS.
14. WIDE SIDEWALKS SHALL BE SCORED PER CITY AUTHORIZED REPRESENTATIVE.
15. BASE COURSE SHALL BE THOROUGHLY WATERED IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE WHEN THE MEASURED OR FORECASTED ASCENDING AIR TEMPERATURE IS 80 DEGREES OR GREATER.

DRAWING NUMBER: RD-1075 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: RD-1075.dwg APPROVED BY: NK DATE: 1/4/18

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS

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Commercial Driveway - Type I

NOTES:
1. DRIVEWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH "PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY" (PROWAG) JULY, 2011 EDITION.
2. CONCRETE SHALL BE COMMERCIAL MIX, MIN. COMPRESSIVE STRENGTH OF 3300 PSI AT 28 DAYS.
3. BASE COURSE SHALL BE THOROUGHLY WATERED IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE WHEN THE MEASURED OR FORECASTED ASCENDING AIR TEMPERATURE IS 80 DEGREES OR GREATER.
4. CURB JOINT SHALL BE A TROVELED JOINT WITH A MIN. 1/2" RADIUS ALONG THE BACK OF CURB.
5. CONTRACTION JOINT SPACING SHALL NOT EXCEED 12 FEET.
6. USE EXISTING CURB EXPANSION JOINT OR SAW CUT AND PLACE COLD JOINT.
7. DRIVEWAYS SHALL NOT BE WIDER THAN NECESSARY TO SAFELY ACCOMMODATE PROJECTED PEAK HOUR TRIPS AND TURNING MOVEMENTS AND SHALL BE DESIGNED TO MINIMIZE PEDESTRIAN CROSSING DISTANCES.
8. SIDEWALK THICKNESS SHALL BE 6 INCHES MINIMUM, REINFORCED, AND EXTEND TO AT LEAST ONE PANEL BEYOND DRIVEWAY APPROX.
9. ON STEEP SLOPES, SIDEWALK RAMP SHALL HAVE A MAXIMUM SLOPE OF 8.3% OR MAXIMUM LENGTH OF 15 FEET CONSTRUCTED AT A CONSTANT SLOPE.
10. THE CROSS SLOPE OF THE PEDESTRIAN ACCESS ROUTE SHALL BE DESIGNED AT 1.5% AND NOT EXCEED 2%.
11. DRIVEWAYS SHALL BE DESIGNED TO ACCOMMODATE PROJECTED PEAK HOUR TRIPS AND TURNING MOVEMENTS AND SHALL BE DESIGNED TO MINIMIZE PEDESTRIAN CROSSING DISTANCES.

DRAWING NUMBER: RD-1095 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: RD-1095.dwg APPROVED BY: PN DATE: 4/8/19

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS

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Concrete Street Curb and Gutter

NOTES:
1. NOT FOR USE ALONG MEDIANS.
2. CONCRETE SHALL BE COMMERCIAL MIX, MIN. COMPRESSIVE STRENGTH OF 3300 PSI AT 28 DAYS AND INCORPORATE MICRO-REINFORCEMENT "FIBERMESH 300" OR APPROVED EQUAL.
3. CONSTRUCTION JOINTS:
A. SPACING TO BE NOT MORE THAN 12 FEET.
B. JOINTS SHALL BE HAND SAWCUT, WHEN WET, THROUGH ENTIRE WIDTH AND FULL DEPTH OF CURB AND GUTTER.
4. BASE ROCK TO BE 3/4"-0 COMPACTED TO 95% OF AASHTO T-180 AND SHALL BE TO SUB GRADE, STREET STRUCTURE, OR 4" IN DEPTH, WHICHEVER IS GREATER.
5. ~~DRAINAGE BLOCK OUT~~
6. ~~FRAGILE PIPES WITH COUPLING~~
7. ~~DRAINAGE ACCESS THROUGH EXISTING CURB SHALL BE CORE DRILLED~~
8. FOR RECONSTRUCTED CURB, DRILL CONCRETE STREET AND SET DOWELS WITH EPOXY PRIOR TO CURB INSTALLATION.
9. BASE COURSE SHALL BE THOROUGHLY WATERED IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE WHEN THE MEASURED OR FORECASTED ASCENDING AIR TEMPERATURE IS 80 DEGREES OR GREATER.
10. GUTTER PAN SHALL HAVE A NORMAL SLOPE OF 6.7% DESIGN (1" FALL OVER THE 15' GUTTER PAN), 6.0% MINIMUM, 8.0% MAXIMUM. GUTTER PAN SLOPE AT SIDEWALK RAMP SHALL BE BETWEEN 2% AND 5% TO MATCH CROSS SLOPE OF STREET, THE FULL WIDTH OF THE SIDEWALK RAMP; THE MAXIMUM ALGEBRAIC GRADE BREAK BETWEEN THE SIDEWALK RAMP AND THE STREET CROSS SLOPE, INCLUDING THE GUTTER PAN, SHALL BE 1.5%. SEE SIDEWALK RAMP DETAILS RD-1110 THROUGH 1140.
11. GUTTER STAMPS ARE REQUIRED AT LOCATIONS OF ALL SERVICE AND CONDUIT CROSSINGS (SEC. 201.2.24.D). MARKINGS SHALL BE SANDBLASTED INTO CONCRETE CURBS. LETTER SHALL BE 3" IN HEIGHT AND EMBOSSED A MINIMUM OF 1/8" DEEP.

DRAWING NUMBER: RD-1060 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: RD-1060.dwg APPROVED BY: NK DATE: 3/14/18

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS

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Fire Hydrant Assembly

NOTES:
1. APPROVED FIRE HYDRANTS:
WATERLOUS PACER OR
MUELLER CENTURION
2. HYDRANT COLOR TO BE INDUSTRIAL ENAMEL, OIL/ALKYD, IN SAFETY YELLOW.
3. ALL FITTINGS IN CONTACT WITH CONCRETE SHALL BE WRAPPED IN PLASTIC (8 MIL MINIMUM). HYDRANT DRAIN HOLES TO REMAIN OPEN TO DRAIN ROCK AND OPERATIONAL.
4. MIN. 4 C.U. FT. OF 3 1/2" 3/4" CLEAN DRAIN ROCK SHALL BE PLACED AROUND SIDE UP TO A MIN. OF 6" ABOVE DRAIN OUTLETS.
5. WHERE PLANTER STRIP EXISTS, HYDRANT SHALL BE PLACED SO FRONT PORT IS A MINIMUM OF 24" BEHIND FACE OF CURB.
6. WHERE INTEGRAL S/W & CURB EXISTS, HYD. SHALL BE PLACED 18" BACK OF SIDEWALK OR AS DIRECTED BY ENGINEER.
7. BURY OF HYDRANT SHALL BE MEASURED FROM FINISHED GRADE TO BOTTOM OF CONNECTING PIPE.
8. THRUST BLOCK AT FIRE HYDRANT TEE SHALL HAVE A MIN. 3.7 SQ. FT. BEARING AREA.
9. HYDRANT VALVE SHALL BE RESILIENT SEATED GATE VALVE IN ACCORDANCE WITH WILSONVILLE PWS SECTION 501.7.02.
10. PROTECTIVE BOLLARD IS TO BE PROVIDED AND INSTALLED, PER DETAIL RD-1195, IF HYDRANT IS SUBJECT TO VEHICULAR DAMAGE, WHERE DIRECTED BY CITY'S AUTHORIZED REPRESENTATIVE.
11. NO OBSTRUCTIONS ARE ALLOWED WITHIN HYDRANT CLEAR ZONE. SEE DETAIL NO. WT-3065.
12. PARALLEL PARKING STALLS SHALL BE A MIN. OF 10' FROM HYDRANT.
13. TRACER WIRE INSIDE 1' SECTION OF 4" DIAMETER PVC PIPE WITH SCREW CAP FILLED WITH GRANUL. TOP OF SCREW CAP SHALL BE ABOVE GRADE, BUT NO HIGHER THAN THE HYDRANT FLANGE.

DRAWING NUMBER: WT-3060 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: WT-3060.dwg APPROVED BY: NK DATE: 10/19/18

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS

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1 1/2" - 2" Single Service

NOTES:
1. STANDARD VALVE BOX AND LID. SEE STANDARD DETAIL NO. WT-3020.
2. PIPE O.D. X 2" I.P.T. TEE OR STAINLESS STEEL STRAP WITH DUCTILE IRON BODY SADDLE.
3. 2" X 6" BRASS I.P.T. NIPPLE.
4. 2" I.P.T. X 1/2" GATE VALVE (MUELLER NO. A-2360-8).
5. 2" M.I.P. X 110 COMP. STRAIGHT COUPLING MUELLER H-15428 OR FORD C84-77-Q.
6. 2" ASTM B-88 TYPE "K" RIGID COPPER TUBING. IF SLEEVED IN A RIGID CASING USE SOFT TEMPER TYPE "K" TUBING.
7. 2" 110 COMP. X 110 COMP. 1/4 BEND MUELLER H-15526 OR FORD L84-77-Q.
8. 1 1/2" - 2" 110 COMP. ANGLE METER STOP MUELLER H-14277 ONLY.
9. APPROVED BOX, COVER AND LID:
- STANDARD: SEE DETAIL NO. WT-3050 - WT-3052.
- TRAFFIC RATED: SEE DETAIL NO. WT-3053 - WT-3055
10. VALVE OPERATOR EXTENSION, AS NEEDED. SEE DETAIL NO. WT-3015.
11. SUBSTITUTES FOR ANY MATERIALS SHOWN SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE CITY WATER DEPARTMENT.
12. ALL PIPE AND STRUCTURE ZONES SHALL BE BACKFILLED USING 3/4"-0 CRUSHED AGGREGATE AND COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
13. WHEN AN ACTIVE CATHODIC PROTECTED SYSTEM IS ENCOUNTERED, SCH. 40 PVC SHALL BE INSTALLED AS SHOWN WITH CLAY PLUG.
14. METER BOX SHALL BE CENTERED OVER THE COMPLETED METER AND FITTING ASSEMBLY.
15. METER BOX HEIGHT ADJUSTMENTS ON EXISTING SERVICES SHALL BE MADE WITH MANUFACTURER METER BOX EXTENSION OR BY STACKING METER BOXES AS APPROVED BY THE MANUFACTURER.
16. METER BOX SHALL BE LOCATED IN PLANTER AREAS ONLY. SEE PUBLIC WORKS STANDARDS FOR TRAFFIC RATED BOXES AND COVERS.
17. METER BOX SHALL BE LOCATED BEHIND THE SIDEWALK AT LOCATIONS WITH CURB TIGHT SIDEWALK.
18. METER BOX SHALL BE LOCATED NOT MORE THAN 12" FROM BACK OF CURB OR SIDEWALK.
19. METER BOX SHALL MATCH SIDEWALK GRADE IF SIDEWALK EXISTS OTHERWISE SET FLUSH WITH SURROUNDING GROUND SURFACE.
20. IF REQUIRED, CUSTOMER SHALL INSTALL AN APPROVED BACKFLOW PREVENTION DEVICE AND OBTAIN THE NECESSARY PERMITS AND INSPECTIONS FROM THE BUILDING DEPARTMENT.
21. EACH PROPERTY SHALL HAVE AN INDIVIDUAL WATER SERVICE FROM THE WATER MAIN, SHARED OR DOUBLE WATER SERVICES ARE NOT ALLOWED.

DRAWING NUMBER: WT-3045 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: WT-3045.dwg APPROVED BY: NK DATE: 1/23/18

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS

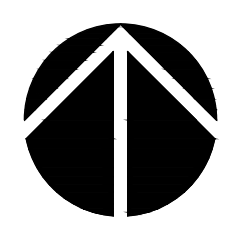
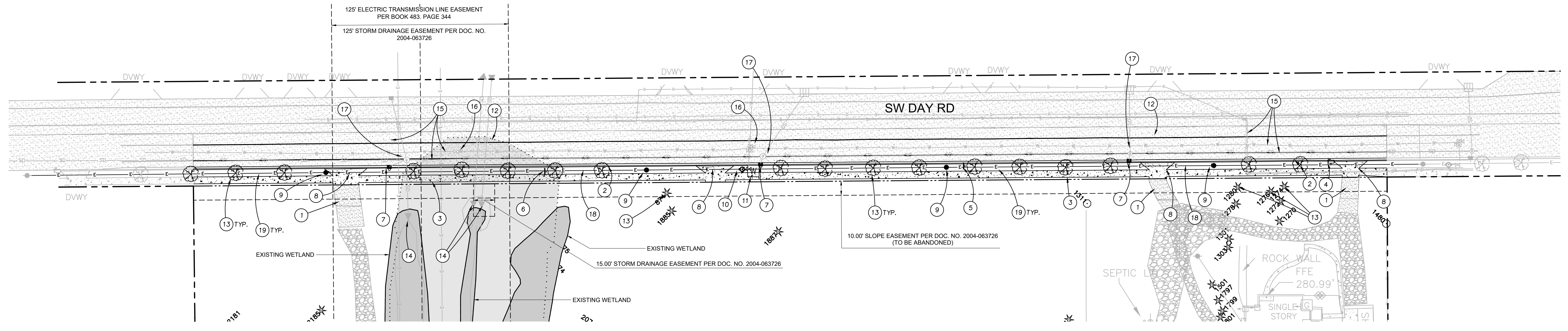
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Water Meter Assembly

NOTES:
1. DOUBLE CHECK ASSEMBLY 1" & SMALLER, INSTALL PENNELL PLASTIC PE-50 BOX WITH COVER OR APPROVED EQUAL. FOR ASSEMBLY LARGER THAN 1", USE 2" OR LARGER METAL CASKON NO. SERIES 17000 BOX WITH COVER OR APPROVED EQUAL.
2. GASKETS MUST BE MINIMUM OF 6" DEPTH AND BE CLEAN AND COMPACTED. CRUSH AND RUN IS SOLE ACCEPTABLE.
3. PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN MIN. 2 CU. FT. PEA GRAVEL SUMP.
4. VALVE BOX OR BE GREEN 8" ROUND BOX WITH LOCKING LID.
5. MARK LOCATION ACCURATELY FOR RECORD DRAWINGS.
6. COMPACT SOIL AROUND VALVE BOX FOR BENTY.
7. PROVIDE RECORD DRAWINGS FOR ALL UTILITY CONNECTIONS.

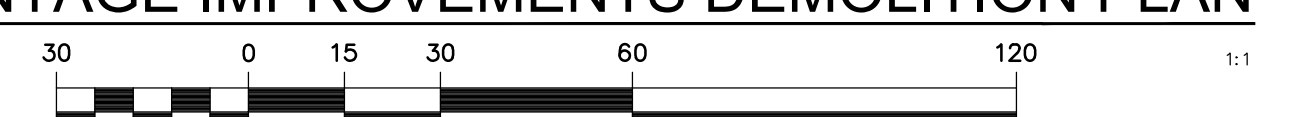
DRAWING NUMBER: WT-3045 DRAWN BY: SR SCALE: N.T.S.
FILE NAME: WT-3045.dwg APPROVED BY: NK DATE: 1/23/18

CITY OF WILSONVILLE
PUBLIC WORKS STANDARDS



1 FRONTAGE IMPROVEMENTS DEMOLITION PLAN

R1.01



(IN FEET)
1 inch = 30 ft.

KEY NOTES

1. REMOVE EXISTING ASPHALT PER SECTION 1/R0.02
2. REMOVE EXISTING CURB AND GUTTER
3. REMOVE EXISTING SIDEWALK
4. REMOVE EXISTING MAILBOX
5. RELOCATE EXISTING "TRUCKS ENTERING ROADWAY" SIGN
6. RELOCATE EXISTING "40 SPEED" SIGN
7. REMOVE EXISTING CATCH BASIN
8. REMOVE EXISTING DRIVEWAY
9. RELOCATE EXISTING POWER POLE
10. RELOCATE FIRE HYDRANT
11. REMOVE WATER METER AND SERVICE LATERAL TO MAINLINE
12. GRIND ASPHALT PAVEMENT PER SECTION 1/R0.02
13. REMOVE EXISTING TREE
14. PROTECT EXISTING STORM CULVERTS
15. PROTECT EXISTING UTILITIES AT THE SURFACE WITHIN THE GRINDING AREA
16. PROTECT VALVES AND ADJUST TO GRADE
17. PROTECT EXISTING MANHOLES IN GRINDING AREA, ADJUST TO GRADE
18. RELOCATE EXISTING OVERHEAD POWER LINES
19. REMOVE EXISTING HEDGE



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Delta	Issued As	Issue Date

SHEET TITLE:
**DEMOLITION
PLAN**

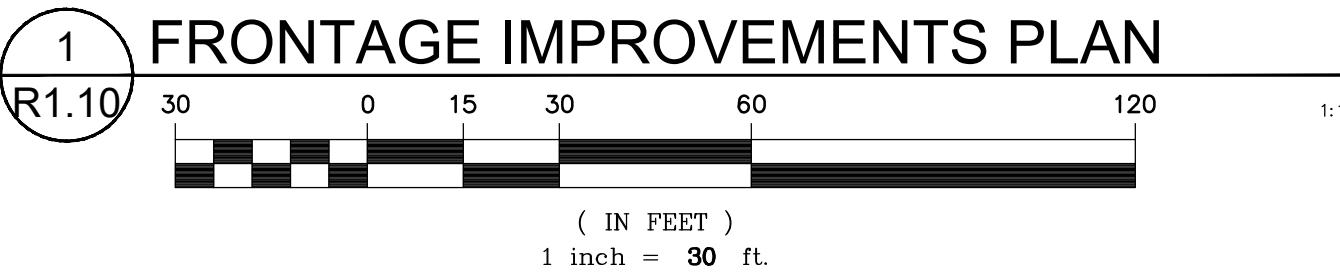
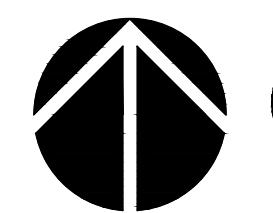
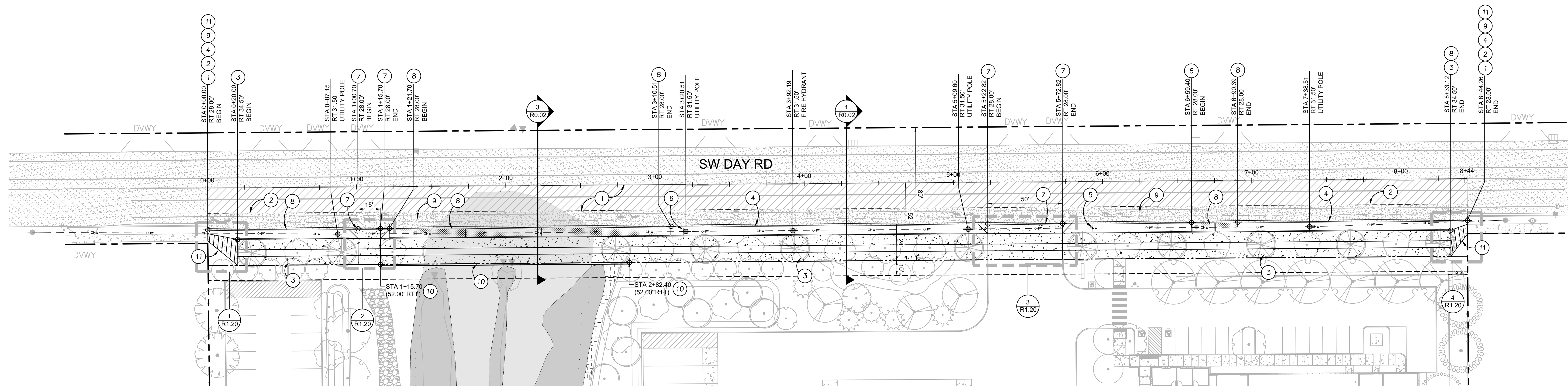
DRAWN BY: CME

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SHEET

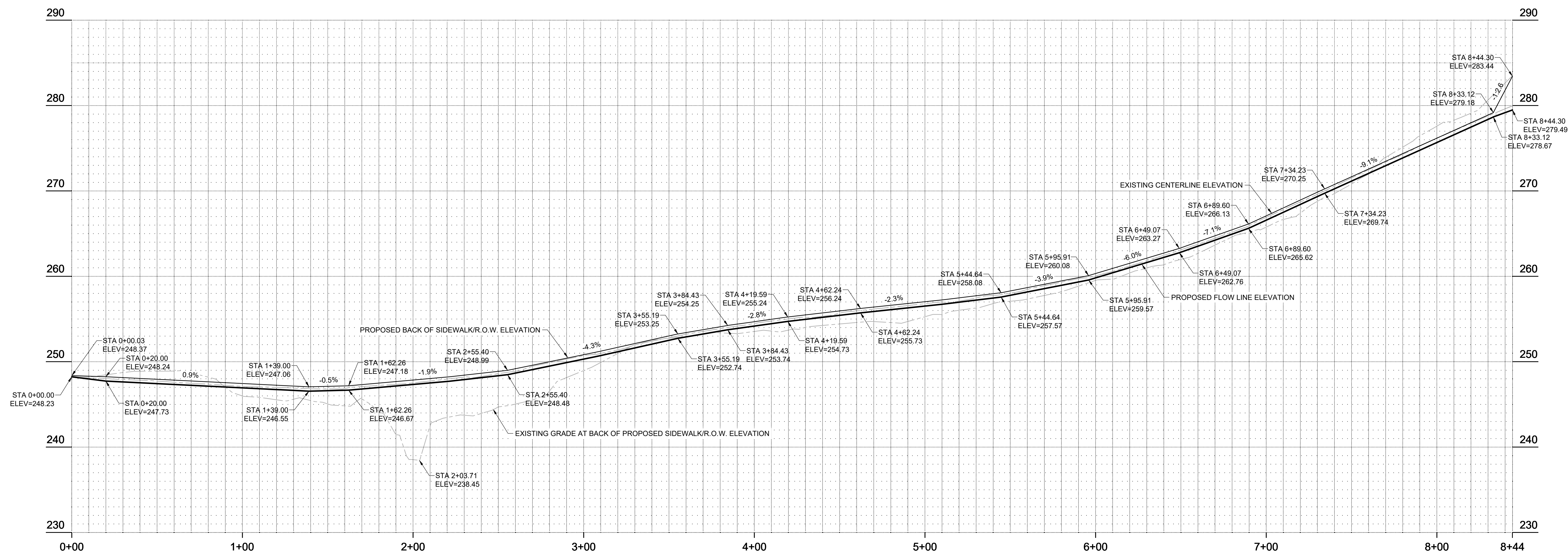
R1.01

JOB NO. **2200502.04**



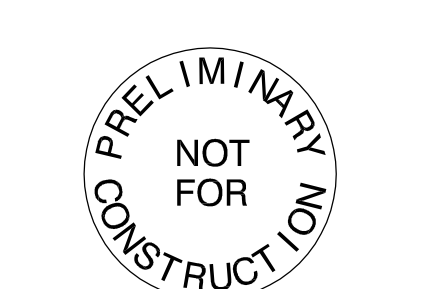
KEY NOTES

1. ASPHALT OVERLAY
2. SAWCUT EXISTING ASPHALT
3. SIDEWALK PER RD-1075/R0.03
4. VERTICAL CURB AND GUTTER PER RD-1060/R0.03
5. RELOCATED "TRUCKS ENTERING ROADWAY" SIGN
6. RELOCATED EXISTING "40 SPEED" SIGN
7. COMMERCIAL DRIVEWAY PER RD-1095/R0.03
8. STORMWATER PLANTER PER ST-6005/R0.03
9. CONCRETE PAVEMENT
10. RETAINING WALL
11. ASPHALT PAVING WITH CROSSWALK STRIPING FROM PROPOSED SIDEWALK TO EXISTING



2 FRONTAGE IMPROVEMENTS PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



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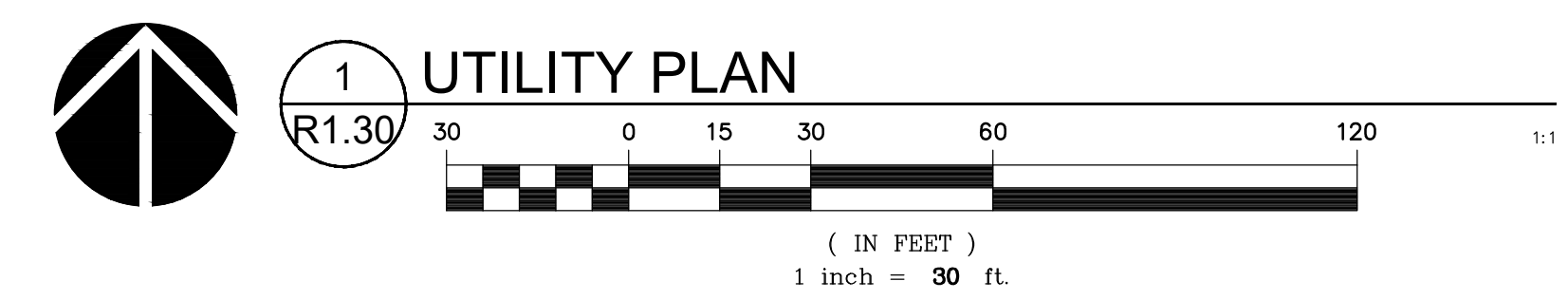
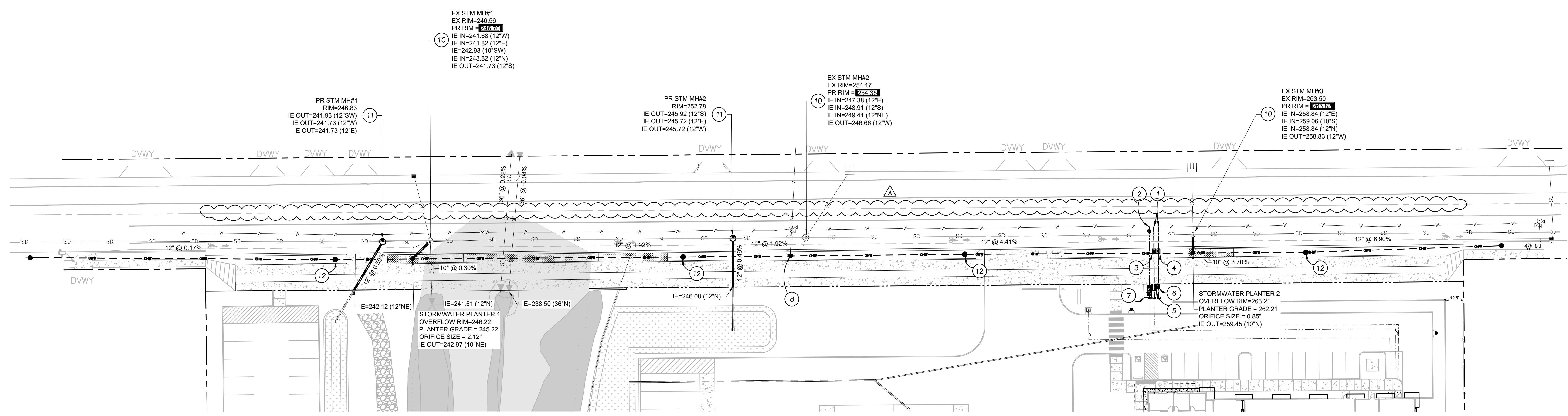
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
PLAN AND PROFILE

DRAWN BY: CME
CHECKED BY: GIM
SHEET

R1.10

JOB NO. **2200502.04**



KEY NOTES

1. DOMESTIC/IRRIGATION WATER SERVICE CONNECTION PER DETAIL WT-3045/R0.03
2. FIRE WATER SERVICE CONNECTION
3. 3" DOMESTIC WATER METER. SEE DETAIL WT-3045/R0.03
4. 1.5" IRRIGATION WATER METER
5. 3" REDUCED PRESSURE BACKFLOW ASSEMBLY
6. 1.5" DOUBLE CHECK ASSEMBLY. SEE DETAIL WT-3045/R0.03
7. 12" DOUBLE CHECK DETECTOR ASSEMBLY
8. FIRE HYDRANT. SEE DETAIL WT-3060/R0.03
9. NOT USED
10. JOIN EXISTING STORM MANHOLE
11. STORM MANHOLE
12. RELOCATED UTILITY POLE WITH STREET LIGHT LUMINAIRE



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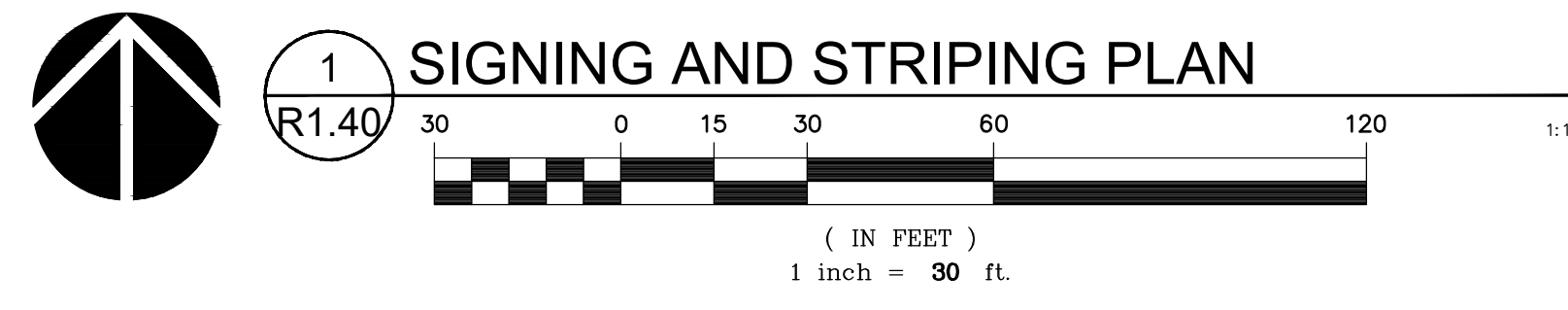
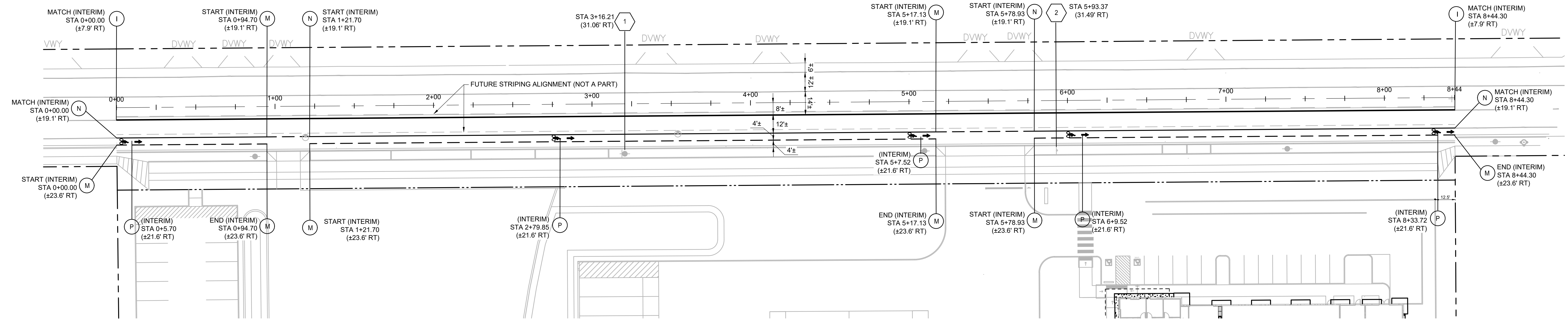
REVISION SCHEDULE		
Delta	Issued As	Issue Date
A	LAND USE	08/08/2022

SHEET TITLE:
UTILITY PLAN

DRAWN BY: CME
CHECKED BY: GIM
SHEET

R1.30

JOB NO. 2200502.04



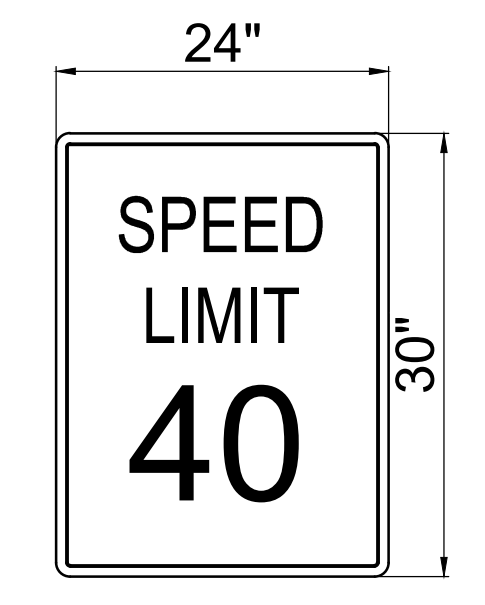
SIGNING NOTES

- REFER TO THE CITY OF WILSONVILLE DWG. RD-1245/SHEET R1.41
- POSTS SHALL BE INSTALLED WITH V-LOCK PER CITY OF WILSONVILLE DWG. RD-1250/SHEET R1.41

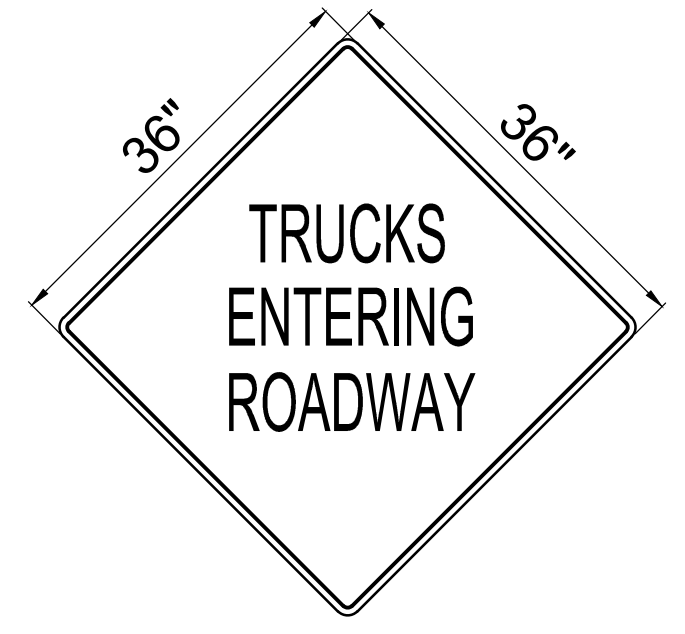
STRIPING NOTES

- REFER TO THE CITY OF WILSONVILLE PAVEMENT MARKING NOTES ON CITY OF WILSONVILLE STD. DWG. RD-1280/SHEET R1.41
- DO NOT PAINT CURBS MAINTAINED BY THE CITY OF WILSONVILLE. CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY PAINT ON CITY CURBS.

SIGN & SUPPORT DATA TABLE													
SIGN NO. (N)	QTY. USED	SIGN DIMENSION		SIGN CODE		TYPE OF SUPPORT					SIGN LEGEND / OTHER REMARKS		
		WIDTH (IN)	HEIGHT (IN)	MUTCD	ODOT	SINGLE PIPE POST	MOUNT					FOOTING TYPE	
							EXISTING PIPE POST	UTILITY POLE	LIGHT POLE	SIGNAL POLE	MODIFIED BIKE RACK		CANTILEVER
1	1	24	30	R2-1 TYPE W1			X						
2	1	36	36			X							



1 R2-1 TYPE W1 SIGN



2 "TRUCKS ENTERING ROADWAY" SIGN



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
STRIPING AND SIGNAGE PLAN

DRAWN BY: CME
 CHECKED BY: GIM
 SHEET

R1.40

JOB NO. **2200502.04**

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

A SKIP CENTERLINE: 4" YELLOW LINE WITH TYPE I BI-DIRECTIONAL YELLOW RAISED PAVEMENT MARKERS AT 40' O.C.

B TURN LANE MARKINGS: SEE MUTCD AND ODOT STANDARD DRAWING TM501 FOR DETAILS. ARROWS SHALL BE METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL.

C THRU LANE MARKINGS: SEE MUTCD FOR DETAILS. THRU ARROWS SHALL BE METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL.

D THRU AND TURN LANE MARKINGS: SEE MUTCD FOR DETAILS. TURN AND THRU ARROWS SHALL BE METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL.

E STOP BAR: SHALL BE METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL. NOT REQUIRED AT INTERSECTIONS IF MARKED CROSSWALKS ARE INSTALLED.

F TURN LANE: 8" WHITE LINE WITH MONO-DIRECTIONAL CRYSTAL TYPE I MARKERS (WHITE) AT 15' O.C.

G MEDIAN NOSE: TWO 4" YELLOW LINES WITH BI-DIRECTIONAL YELLOW TYPE I MARKERS AT 15' O.C. FOR USE AT INTERSECTIONS WHERE MEDIAN NOSE IS LESS THAN 4' WIDE.

H DIAGONAL LINES: 12" YELLOW OR WHITE LINES INSTALLED AS SHOWN.

Pavement Markings Page 1			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1265	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1265.DWG	APPROVED BY: PN	DATE: 5/16/19	

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

I TWO WAY LEFT TURN STRIPE: 4" YELLOW LINES WITH TYPE I BI-DIRECTIONAL YELLOW RAISED PAVEMENT MARKERS AT 40' O.C. OUTSIDE LINE IS SOLID INSIDE AT 10'/30' PATTERN.

J CENTERLINES: TWO 4" YELLOW LINES WITH BI-DIRECTIONAL YELLOW TYPE I MARKERS AT 40' O.C.

K BICYCLE LANE ARROW: SEE ODOT BIKE LANE STANDARDS. USE PREFORMED METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL.

L MEDIAN STRIPE: TWO 4" YELLOW LINES WITH TYPE I BI-DIRECTIONAL YELLOW RAISED PAVEMENT MARKERS AT 40' O.C.

M LANE LINE: 4" WHITE WITH CRYSTAL TYPE I WHITE MONO-DIRECTIONAL MARKERS AT 40' O.C.

N FOG LINE: 4" WHITE LINE AS SHOWN ON PLANS

O TRAVEL LANE - 8" WHITE STRIPE
PARKING LANE - 4" WHITE STRIPE
EDGE OF PAVEMENT OR CURB

P BICYCLE LANE MARKING: SEE ODOT BIKE LANE STANDARDS. USE PREFORMED METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL.

Pavement Markings Page 2			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1270	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1270.DWG	APPROVED BY: PN	DATE: 5/16/19	

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

Q RAISED MEDIAN STRIPE: 4" YELLOW LINE WITH TYPE I BI-DIRECTIONAL YELLOW RAISED PAVEMENT MARKERS AT 40' O.C.

R RIGHT TURN LANE MARKINGS: SEE MUTCD AND ODOT STANDARD DRAWING TM501 FOR DETAILS. ARROWS SHALL BE METHYL METHACRYLATE (MMA) PAVEMENT MARKING MATERIAL.

T PAVEMENT WORD AND SYMBOL MARKINGS FOR BIKE ROUTE AT R/R GRADE X-ING

S PAVEMENT MARKINGS FOR NARROW R/R CROSSING INSTALL PER ODOT STANDARD DRAWING TM501

Pavement Markings Page 3			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1275	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1275.DWG	APPROVED BY: PN	DATE: 5/9/19	

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

NOTE:
1. SIGN LOCATIONS SHALL BE ACCORDING TO MUTCD AND AS MODIFIED HEREIN.
2. SIGNS WHERE THE SIDEWALK IS CURB TIGHT SHALL BE LOCATED 6" OUTSIDE THE SIDEWALK TO MAXIMUM DISTANCE OF 7" FROM THE FACE OF CURB.
3. IF THE SIDEWALK IS WIDER THAN 6", A TACTILE STRIP 2" WIDE FROM A RADIUS POINT FROM THE BASE OF THE SIGN SHALL BE PLACED IN THE WET CONCRETE. THE TACTILE STRIP SHALL BE MADE BY USING A 1/4" TINE METAL BROOM TO A DEPTH OF 1/4".

Street Sign Locations			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1245	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1245.DWG	APPROVED BY: NK	DATE: 4/2/14	

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

NOTES:
1. SURFACE MOUNT SIGN POSTS TO BE REVIEWED AND APPROVED BY CITY AUTHORIZED REPRESENTATIVE
2. ALL SIGN HARDWARE TO BE STAINLESS STEEL
3. V-LOCK WEDGE TO FACE DIRECTION OF TRAVEL

Street Sign Assembly			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1250	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1250.DWG	APPROVED BY: PN	DATE: 4/11/19	



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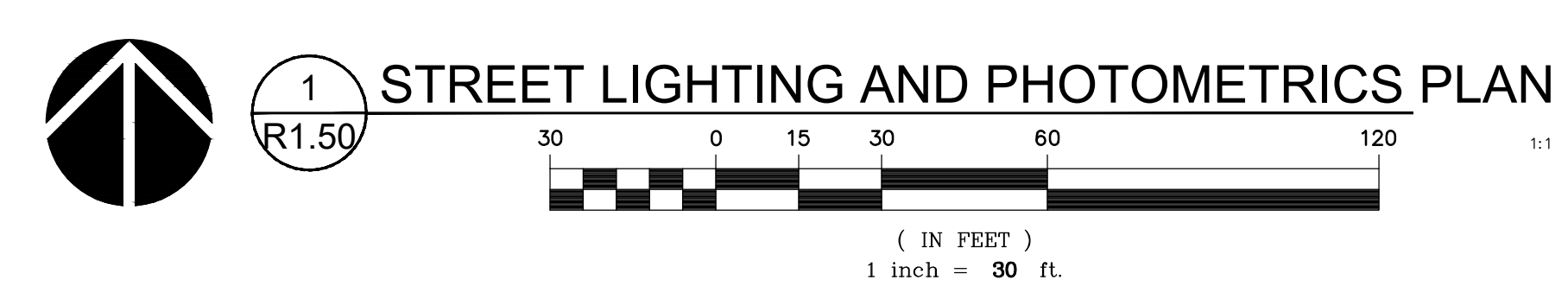
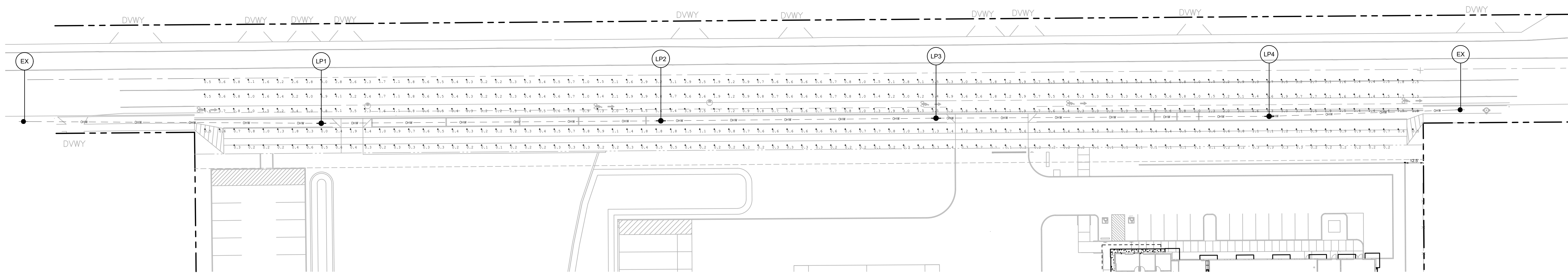
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
STRIPING AND SIGNAGE DETAILS

DRAWN BY: CME
CHECKED BY: GIM
SHEET

R1.41

JOB NO. 2200502.04



LIGHTING NOTES

- ALL MATERIALS AND WORKMANSHIP CONFORM TO CITY OF WILSONVILLE AND PGE OPTION B SPECIFICATIONS. ALL MATERIALS AND INSTALLATIONS SHALL BE APPROVED BY WILSONVILLE AND PGE.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF STREET LIGHTS WITH PGE AND CITY FORCES. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL SUBMIT A LIGHTING SUBMITTAL OF ALL LIGHTING EQUIPMENT TO THE CITY OF WILSONVILLE AND HAVE APPROVED PRIOR TO ORDERING.
- CONTACT PGE AT (503) 323-6700 TO BEGIN A WORK ORDER REQUEST. VERIFY PROPOSED LIGHT POLE LOCATION WITH PGE AND CITY PRIOR TO ORDERING AND INSTALLATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- STREET LIGHTING SHALL BE PER PGE OPTION B; PGE MAINTAINS LUMINAIRES AND PROVIDES ELECTRICITY SERVICE TO LUMINAIRES THAT ARE PURCHASED AND OWNED BY THE OWNER AND INSTALLED ON UTILITY POLES.
- CONTRACTOR SHALL VERIFY LUMINAIRE CHARACTERISTICS AND CATALOG NUMBER, INCLUDING BUT NOT LIMITED TO EXTERIOR HOUSING COLOR, WITH PGE AND CITY FORCES PRIOR TO ORDERING.
- WIRES TO BE PROVIDED AND PULLED BY PGE.
- CONTRACTOR IS RESPONSIBLE FOR THE CORRECT OPERATION OF THE STREET LIGHT SYSTEM FOR THE FIRST YEAR AFTER BEING ENERGIZED BY PGE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY POLES WHICH GO OUT OF PLUMB WITHIN THE FIRST YEAR. DURING THIS ACCEPTANCE PERIOD ANY REPAIRS OR POLE STRAIGHTENING PERFORMED ON THE INSTALLED SYSTEM BY PGE WILL BE BILLED TO THE DEVELOPER.

STREET LIGHTING EQUIPMENT

- LUMINAIRES SHALL BE:
 LUM 1: LEOTEK GRAY LED:
 GCL-80G-MV-WW-3R-GY-610-PCR7RWGWLFDPCGE

LIGHTING LEGEND

- EXISTING LIGHTPOLE
- INSTALL LUMINAIRE POLE (30' MOUNTING HEIGHT) SEE FOOTING DETAIL RD-1335
- POLE NUMBER (N), SEE POLE INFORMATION TABLE.

ILLUMINATION DATA

	SW DAY RD - COLLECTOR ROAD		
	AVERAGE (fc)	MINIMUM (fc)	AVERAGE/MINIMUM
DESIGNED	1.7	.2	8.7:1
RECOMMENDED MINIMUM VALUE	0.6	-	4.0:1

	SIDEWALK ALONG SW DAY RD - COLLECTOR ROAD		
	AVERAGE (fc)	MINIMUM (fc)	AVERAGE/MINIMUM
DESIGNED	0.3	0.1	2.5:1
RECOMMENDED MINIMUM VALUE	0.6	-	4.0:1

- NOTES:
- A LIGHT LOSS FACTOR OF 0.85 WAS USED FOR ALL LUMINAIRES
 - STREET LIGHTING WAS DESIGNED IN ACCORDANCE WITH THE MOST CURRENT AMERICAN STANDARD PRACTICE FOR ROADWAY LIGHTING (RP-8-14) PER CITY OF WILSONVILLE PUBLIC WORKS STANDARD
 - DESIGN ASSUMES A LOW PEDESTRIANS TRAFFIC AREA AND A R2/R3 PAVEMENT CLASSIFICATION



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**STREET
 LIGHTING AND
 PHOTOMETRICS
 PLAN**

DRAWN BY: CME
 CHECKED BY: GIM
 SHEET

R1.50

JOB NO. **2200502.04**

TREE PROTECTION NOTES

SEE G0.01 FOR PROJECT ARBORIST CONTACT INFORMATION.

1. PROTECTION FENCING: ESTABLISH TREE PROTECTION FENCING IN THE LOCATIONS SHOWN. THE INTENT OF THE TREE PROTECTION FENCING IS TO PROTECT THE MINIMUM ROOT PROTECTION ZONES DETAILED IN FIGURE 1. NOTE THAT THE TREE PROTECTION FENCING MAY BE MOVED TO ALLOW CONSTRUCTION ACCESS TO THE SIDE OF THE PROPOSED BUILDING FOLLOWING APPROVAL BY THE PROJECT ARBORIST.
2. DIRECTIONAL FELLING - FELL THE TREES TO BE REMOVED AWAY FROM THE TREES TO BE RETAINED SO THEY DO NOT CONTACT OR OTHERWISE DAMAGE THE TRUNKS OR BRANCHES OF THE RETAINED TREES. NO VEHICLES OR HEAVY EQUIPMENT SHOULD BE PERMITTED WITHIN THE TREE PROTECTION ZONES DURING TREE REMOVAL OPERATIONS.
3. STUMP REMOVAL - THE STUMPS OF THE TREES TO BE REMOVED FROM WITHIN THE TREE PROTECTION ZONES SHALL BE RETAINED OR CAREFULLY STUMP GROUND SO AS NOT TO DISTURB THE ROOT SYSTEMS OF THE RETAINED TREES.
4. PERIODIC RISK ASSESSMENTS: CONDUCT RISK ASSESSMENTS PERIODICALLY THROUGHOUT CONSTRUCTION TO DOCUMENT WHETHER TREES ARE ADAPTING TO THE NEW SITE CONDITIONS AND RISKS ARE MITIGATED APPROPRIATELY WITH CITY APPROVAL. THE RETAINED TREES WERE PREVIOUSLY PROTECTED WITHIN A STAND OF SURROUNDING TREES. THE REMOVAL OF ADJACENT TREES WILL EXPOSE THE RETAINED TREES TO CHANGES IN WIND FORCES WHICH WILL INCREASE THEIR RISK OF WINDTHROW. THE PROJECT ARBORIST SHALL CONDUCT A TREE RISK ASSESSMENT IMMEDIATELY FOLLOWING SITE CLEARING TO IDENTIFY TREES THAT POSE SIGNIFICANT RISKS. FOR TREES THAT POSE SIGNIFICANT RISKS, CONSULT PROJECT ARBORIST FOR RETENTION STRATEGIES, SUCH AS PRUNING OR SNAG CREATION. ANY RECOMMENDED TREE REMOVAL OR SNAG CREATION REQUIRES REVIEW AND APPROVAL OF THE CITY OF WILSONVILLE.
5. CONSTRUCTION ACCESS: WHEN ACCESSING THE SIDES OF THE BUILDING IN THE MODIFIED TREE PROTECTION ZONE, SOIL COMPACTION PREVENTION SUCH AS THE PLACEMENT OF STEEL PLATES IS REQUIRED TO PROTECT THE ROOT ZONES OF THE ADJACENT TREES.
6. ONSITE SUPERVISION OF PROJECT ARBORIST: THE PROJECT ARBORIST SHALL BE ONSITE TO OVERSEE THE RETAINING WALL EXCAVATION AND FOUNDATION CONSTRUCTION WITHIN AND ADJACENT TO THE TREE PROTECTION ZONES OF TREES PERIMETER TREES.

7. PROTECT CROWNS OF TREES: THE CROWNS OF THE TREES MAY EXTEND BEYOND THE TREE PROTECTION FENCING. CARE WILL NEED TO BE TAKEN TO NOT CONTACT OR OTHERWISE DAMAGE THE CROWNS OF THE TREES DURING CONSTRUCTION ACTIVITIES. ANY REQUIRED PRUNING SHALL BE COMPLETED BY AN ISA CERTIFIED ARBORIST CONSISTENT WITH ANSI A300 PRUNING STANDARDS AS DIRECTED BY THE PROJECT ARBORIST.
8. SEDIMENT FENCING: SEDIMENT FENCING SHALL BE INSTALLED OUTSIDE THE PROTECTION ZONES OF THE TREES TO BE RETAINED TO MINIMIZE ROOT DISTURBANCES. IF EROSION CONTROL IS REQUIRED INSIDE THE ROOT ZONES, STRAW WATTLES SHALL BE USED ON THE SOIL SURFACE.

BEFORE CONSTRUCTION BEGINS

1. NOTIFY ALL CONTRACTORS OF TREE PROTECTION PROCEDURES. FOR SUCCESSFUL TREE PROTECTION ON A CONSTRUCTION SITE, ALL CONTRACTORS MUST KNOW AND UNDERSTAND THE GOALS OF TREE PROTECTION.
 - a. HOLD A TREE PROTECTION MEETING WITH ALL CONTRACTORS TO EXPLAIN THE GOALS OF TREE PROTECTION.
 - b. HAVE ALL CONTRACTORS SIGN MEMORANDA OF UNDERSTANDING REGARDING THE GOALS OF TREE PROTECTION. THE MEMORANDA SHOULD INCLUDE A PENALTY FOR VIOLATING THE TREE PROTECTION PLAN. THE PENALTY SHOULD EQUAL THE RESULTING FINES ISSUED BY THE LOCAL JURISDICTION PLUS THE APPRAISED VALUE OF THE TREE(S) WITHIN THE VIOLATED TREE PROTECTION ZONE PER THE CURRENT TRUNK FORMULA METHOD AS OUTLINED IN THE CURRENT EDITION OF THE 'GUIDE FOR PLANT APPRAISAL' BY THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS. THE PENALTY SHOULD BE PAID TO THE OWNER OF THE PROPERTY.
2. FENCING
 - a. TREE PROTECTION FENCING MAY BE SET AS SHOWN ON THE TREE PLAN.
 - b. THE FENCING SHOULD BE PUT IN PLACE BEFORE THE GROUND IS CLEARED TO PROTECT THE TREES AND THE SOIL AROUND THE TREE FROM DISTURBANCES.
 - c. FENCING SHOULD CONSIST OF 4-FOOT HIGH STEEL FENCING ON CONCRETE BLOCKS OR OTHER ANCHORING DEVICES, OR 4-FOOT METAL FENCING SECURED TO THE GROUND WITH 6-FOOT METAL POSTS TO PREVENT IT FROM BEING MOVED BY CONTRACTORS, SAGGING, OR FALLING DOWN.

- d. FENCING SHOULD REMAIN IN THE POSITION THAT IS ESTABLISHED BY THE PROJECT ARBORIST AND NOT BE MOVED WITHOUT APPROVAL FROM THE PROJECT ARBORIST UNTIL FINAL PROJECT APPROVAL.
2. SIGNAGE
 - a. ALL TREE PROTECTION FENCING SHOULD HAVE SIGNAGE AS FOLLOWS SO THAT ALL CONTRACTORS UNDERSTAND THE PURPOSE OF THE FENCING.

TREE PROTECTION ZONE

DO NOT REMOVE OR ADJUST THE LOCATION OF THIS TREE PROTECTION FENCING. UNAUTHORIZED ENCROACHMENT MAY RESULT IN FINES.

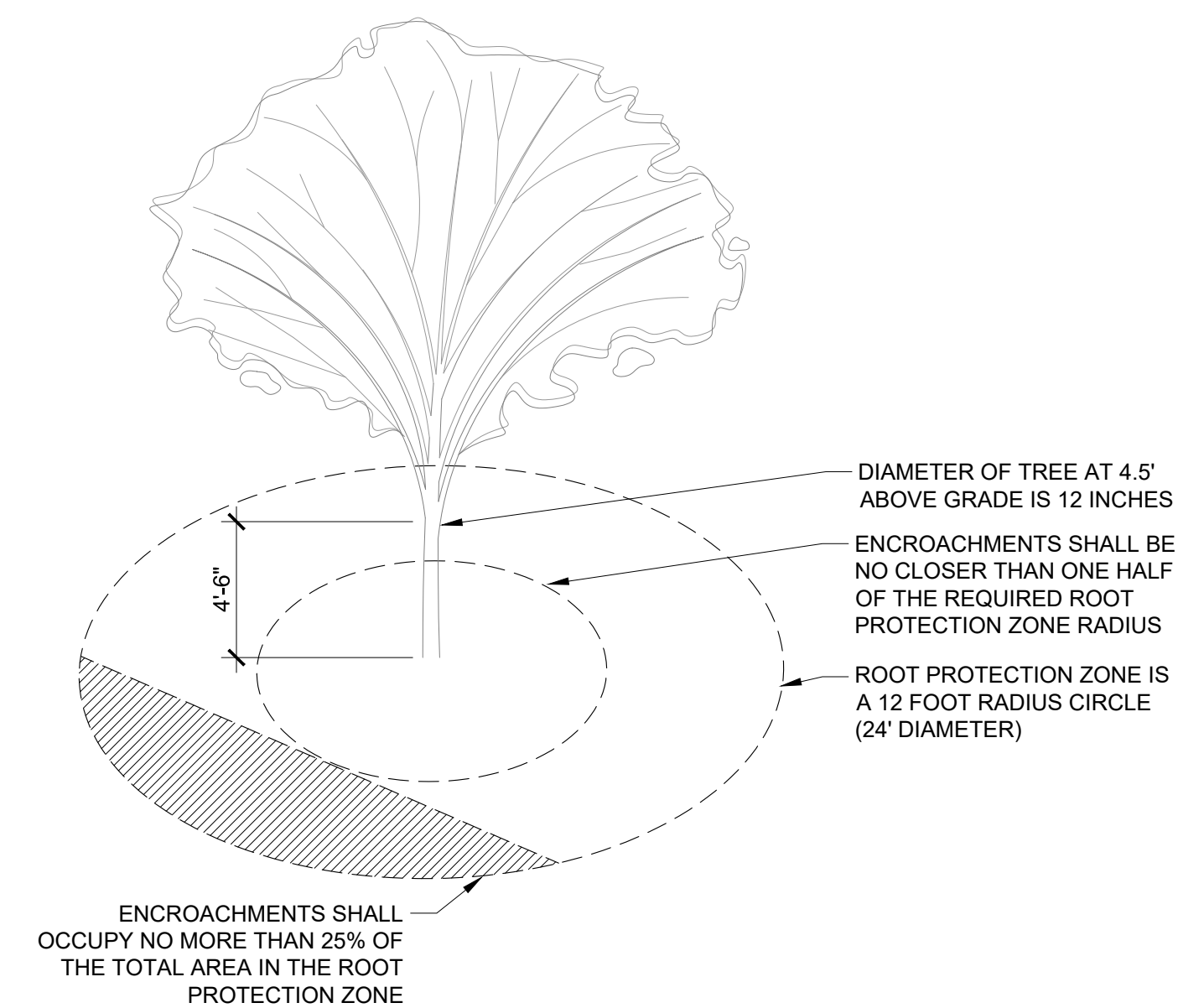
Please contact the project arborist if alterations to the location of the tree protection fencing are necessary.

Project Arborist: Teregan & Associates, Inc. (503) 697-1975
 - b. SIGNAGE SHOULD BE PLACED EVERY 75-FEET OR LESS.

- e. NO VEHICLES SHOULD BE ALLOWED TO PARK WITHIN THE TREE PROTECTION ZONES.
- f. NO OTHER ACTIVITIES SHOULD BE ALLOWED THAT WILL CAUSE SOIL COMPACTIONS WITHIN THE TREE PROTECTION ZONES.
3. THE TREES SHOULD BE PROTECTED FROM ANY CUTTING, SKINNING, OR BREAKING OF BRANCHES, TRUNKS OR WOODY ROOTS.
3. THE PROJECT ARBORIST SHOULD BE NOTIFIED PRIOR TO THE CUTTING OF WOODY ROOTS FROM TREES THAT ARE TO BE RETAINED TO EVALUATE AND OVERSEE THE PROPER CUTTING OF ROOTS WITH SHARP CUTTING TOOLS. CUT ROOTS SHOULD BE IMMEDIATELY COVERED WITH SOIL OR MULCH TO PREVENT THEM FROM DRYING OUT.
4. TREES THAT HAVE WOODY ROOTS CUT SHOULD BE PROVIDED SUPPLEMENTAL WATER DURING THE SUMMER MONTHS.
5. ANY NECESSARY PASSAGE OF UTILITIES WITHIN THE TREE PROTECTION ZONES SHOULD BE BY MEANS OF TUNNELING UNDER WOODY ROOTS BY HAND DIGGING OR BORING WITH OVERSIGHT BY THE PROJECT ARBORIST.
6. ANY DEVIATION FROM THE RECOMMENDATIONS IN THIS SECTION SHOULD RECEIVE PRIOR APPROVAL FROM THE PROJECT ARBORIST.

AFTER CONSTRUCTION

1. CAREFULLY LANDSCAPE THE AREAS WITHIN THE TREE PROTECTION ZONES. DO NOT ALLOW TRENCHING FOR IRRIGATION OR OTHER UTILITIES WITHIN THE TREE PROTECTION ZONES.
2. CAREFULLY PLANT NEW PLANTS WITHIN THE TREE PROTECTION ZONES. AVOID CUTTING THE WOODY ROOTS OF TREES THAT ARE RETAINED.
3. DO NOT INSTALL PERMANENT IRRIGATION WITHIN THE TREE PROTECTION ZONES UNLESS IT IS DRIP IRRIGATION TO SUPPORT A SPECIFIC PLANTING OR THE IRRIGATION IS APPROVED BY THE PROJECT ARBORIST.
4. PROVIDE ADEQUATE DRAINAGE WITHIN THE TREE PROTECTION ZONES AND DO NOT ALTER SOIL HYDROLOGY SIGNIFICANTLY FROM EXISTING CONDITIONS FOR THE TREES TO BE RETAINED.
5. PROVIDE FOR THE ONGOING INSPECTION AND TREATMENT OF INSECT AND DISEASE POPULATIONS THAT CAN DAMAGE THE RETAINED TREES AND PLANTS.
6. THE RETAINED TREES MAY NEED TO BE FERTILIZED IF RECOMMENDED BY THE PROJECT ARBORIST.
7. ANY DEVIATION FROM THE RECOMMENDATIONS IN THIS SECTION SHOULD RECEIVE PRIOR APPROVAL FROM THE PROJECT ARBORIST.



1 ROOT PROTECTION ZONE SCALE: NTS

TREE DATA

ALL TREES (257 TREES)	QTY	RETAIN	REMOVE	MITIGATION
ON SITE < 6" DBH	200	11	189	189
PUBLIC < 6" DBH	21	0	21	21
OFF SITE < 6" DBH	36	36	0	0
TOTAL	257	47	210	210

TREE INVENTORY - ON SITE AND PUBLIC

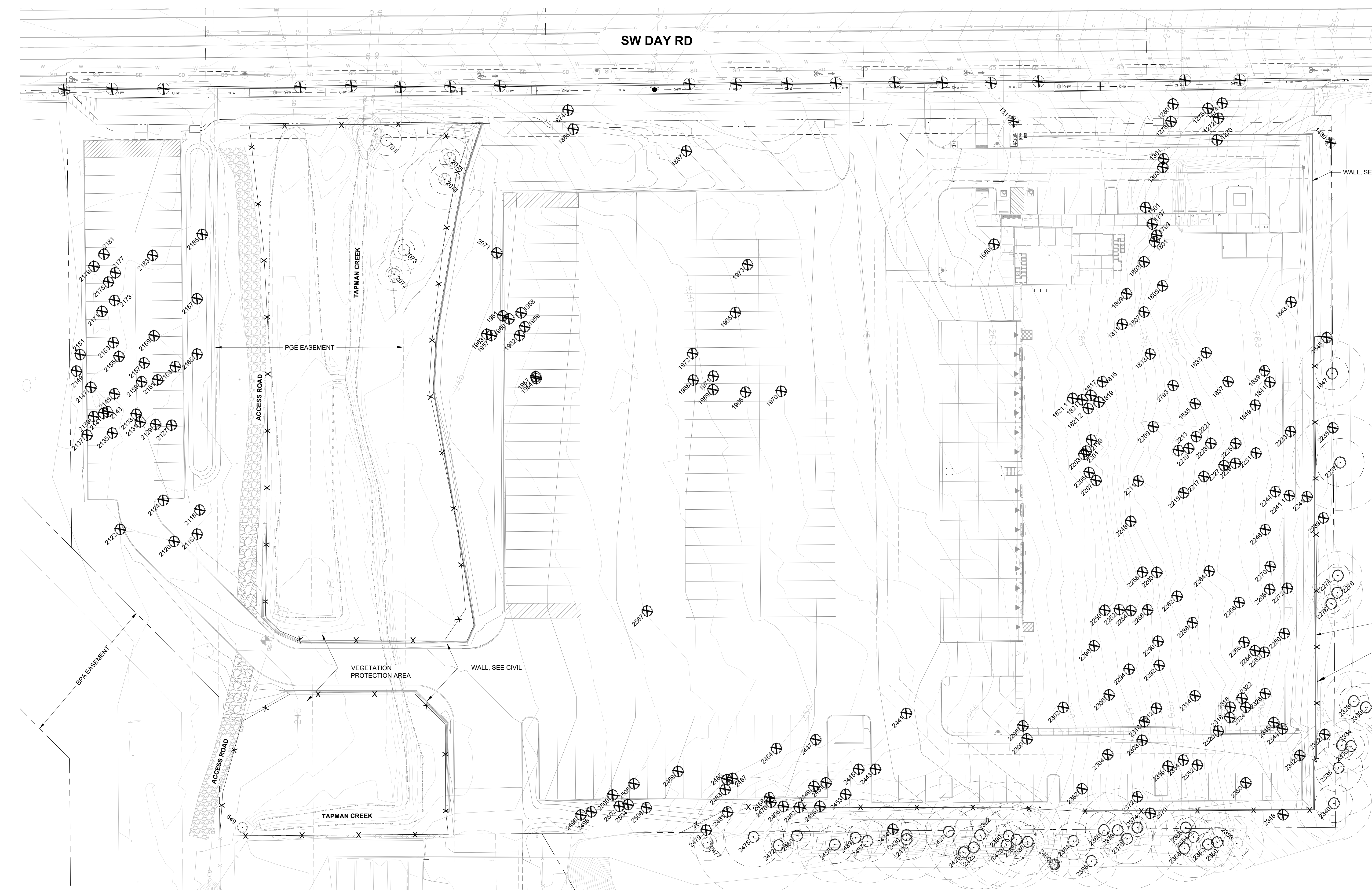
EXISTING	BOTANICAL / COMMON NAME	QTY
+	DOUGLAS FIR TO REMOVE	190
•	DOUGLAS FIR TO REMAIN	5
•	ENGLISH HAWTHORN TO REMAIN	1
•	OREGON ASH TO REMAIN	3
+	STREET TREES TO REMOVE	18
+	SWEET CHERRY TO REMOVE	2
•	WILLOW TO REMAIN	2

TREE INVENTORY - OFF SITE PRIVATE

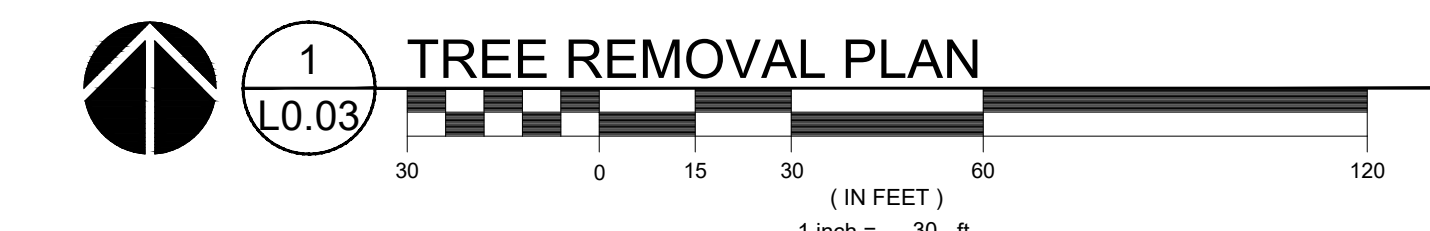
EXISTING	BOTANICAL / COMMON NAME	QTY
•	BIGLEAF MAPLE TO REMAIN	1
•	DOUGLAS FIR TO REMAIN	33
•	OREGON WHITE OAK TO REMAIN	1
•	PACIFIC MADRONE TO REMAIN	1

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DESIGN REVIEW • CLIENT PROVIDED

Client: DELTA LOGISTICS
9835 SW COMMERCE CIRCLE
WILSONVILLE, OR 97070



- WALL, SEE CIVIL
- TREE PROTECTION FENCING, SEE 5L5.10
- FULL ROOT PROTECTION ZONE
- MINIMUM CONSTRUCTION SETBACK RADIUS



Project: DELTA LOGISTICS SITE EXPANSION
9835 SW DAY RD.
CITY OF WILSONVILLE, OR

PRELIMINARY
NOT FOR
CONSTRUCTION

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REVISION SCHEDULE

Delta	Issued As	Issue Date
1	PLAN CHECK	10/07/2022

SHEET TITLE:
TREE REMOVAL PLAN

DRAWN BY: SKA
CHECKED BY: NRF
SHEET

L0.03
JOB NO. 2200502.04

MITIGATION REQUIREMENTS

REPLACE LIVING TREES 6-INCH IN DBH OR LARGER WITH A 2-INCH CALIPER TREE OR LARGER OF SIMILAR MATURE CANOPY SIZE AND STRUCTURE.

TOTAL TREES REQUIRING MITIGATION	210
TOTAL 2" CAL. TREES IN PLAN	210
TOTAL TREES REQUIRING FEE IN LIEU	0

TREE CREDITS (SECTION 4.176.06 F)
 DBH IS 18-24" 3 TREE CREDITS
 DBH IS 25-31" 4 TREE CREDITS
 DBH IS 32" OR GREATER 5 TREE CREDITS

FOR FULL LIST OF TREES TO BE REMOVED SEE EXHIBIT D ARBORIST'S REPORT.

TREES TO BE RETAINED	DBH	CREDITS	CONDITION
549 CRATAEGUS MONOGYNA	5"	0	FAIR
791 WILLOW / SALIX	20"	0	POOR
1847 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	22"	0	FAIR
2072 OREGON ASH / FRAXINUS LATIFOLIA	11"	0	POOR
2073 WILLOW / SALIX	14"	0	DEAD
2074 OREGON ASH / FRAXINUS LATIFOLIA	20"	0	POOR
2075 OREGON ASH / FRAXINUS LATIFOLIA	14"	0	FAIR
2278 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	14"	0	POOR
2340 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	22"	0	GOOD
2366 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	13"	0	POOR
2374 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	12"	0	GOOD

TOTAL TREE CREDITS 0 TREES

EXISTING TREE INVENTORY

EXISTING	BOTANICAL / COMMON NAME	QTY
●	DOUGLAS FIR TO REMAIN	5
●	ENGLISH HAWTHORN TO REMAIN	1
●	OREGON ASH TO REMAIN	3
●	WILLOW TO REMAIN	2

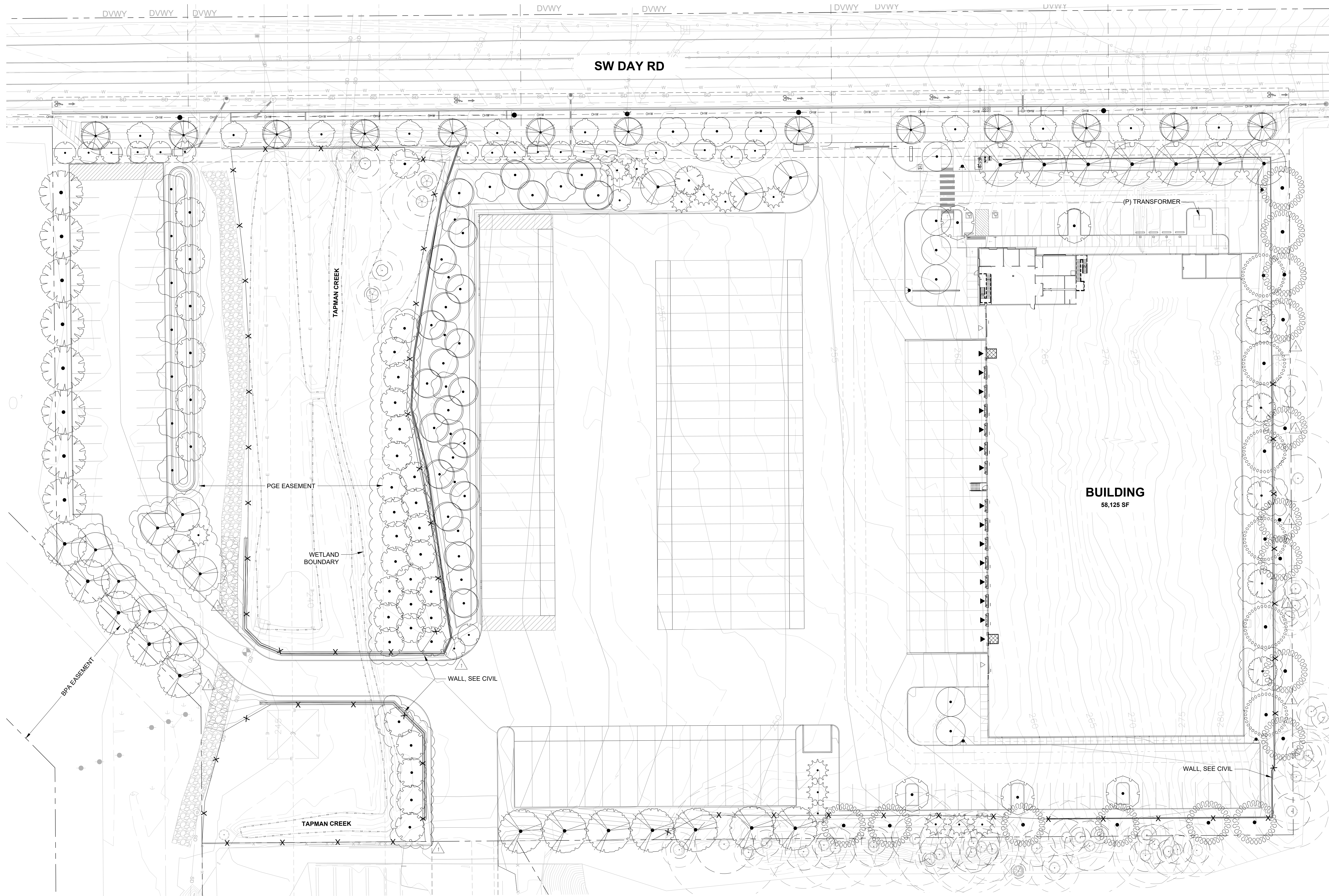
PROPOSED TREES

ACCENT TREES	QTY	BOTANICAL / COMMON NAME
●	6	ACER RUBRUM 'BOHALL' BOHALL RED MAPLE
●	20	AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE' SERVICEBERRY
●	6	CORNUS KOUSA X NUTTALLII 'KN4-43' STARLIGHT KOUSA DOGWOOD
PRIMARY TREES	QTY	BOTANICAL / COMMON NAME
●	7	FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' MARSHALL'S SEEDLESS GREEN ASH
●	6	PINUS PONDEROSA PONDEROSA PINE
●	15	PSEUDOTSUGA MENZIESII DOUGLAS FIR
●	12	QUERCUS GARRYANA OREGON WHITE OAK
●	8	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE SAWLEAF ZELKOVA
SECONDARY TREES	QTY	BOTANICAL / COMMON NAME
●	13	CALOCEDRUS DECURRENS INCENSE CEDAR
●	11	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN
●	5	ULMUS X 'FRONTIER' FRONTIER ELM
STORMWATER TREES	QTY	BOTANICAL / COMMON NAME
●	17	CORNUS X 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD
●	35	FRAXINUS LATIFOLIA OREGON ASH
●	23	RHAMNUS PURSHIANA CASCARA BUCKTHORN
STREET TREES	QTY	BOTANICAL / COMMON NAME
●	13	ACER GRANDIDENTATUM 'SCHMIDT' TM ROCKY MOUNTAIN GLOW MAPLE
●	3	CORNUS KOUSA 'MILKY WAY' MILKY WAY KOUSA DOGWOOD
●	10	PARROTIA PERSICA 'INGE'S RUBY VASE' TM RUBY VASE PERSIAN PARROTIA

NOTE

1. OFFSITE TREES IMPACTED BY ONSITE IMPROVEMENT ON ADJACENT PRIVATE PROPERTY ARE RECOMMENDED FOR REMOVAL AND MITIGATION CONTINGENT UPON APPROVAL OF ADJACENT PROPERTY OWNER.

FULL ROOT PROTECTION ZONE
 MINIMUM CONSTRUCTION SETBACK RADIUS



DELTA LOGISTICS
 9835 SW COMMERCE
 CIRCLE
 WILSONVILLE, OR
 97070

Project
DELTA LOGISTICS
SITE EXPANSION
 9710 SW DAY RD.
 CITY OF
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REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	10/06/2022

SHEET TITLE:
TREE
MITIGATION
PLAN

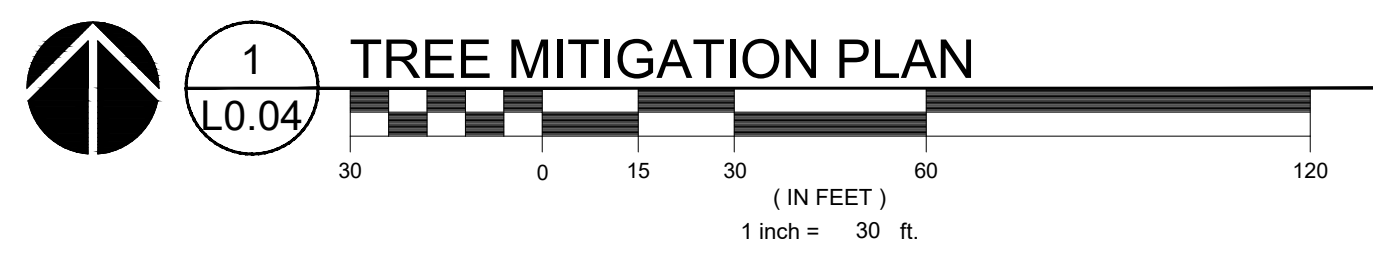
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L0.04

JOB NO. **2200502.04**



MITIGATION PLANTING NOTES

NOTES PER EXHIBIT C NATURAL RESOURCE ASSESSMENT FOR 9710 SW DAY ROAD PREPARED BY SCHOTT AND ASSOCIATES (2022).

SITE PREPARATION
PRIOR TO ANY SITE CLEARING, GRADING OR CONSTRUCTION, THE SROZ AREA SHALL BE STAKED, AND FENCED PER APPROVED PLAN. DURING CONSTRUCTION, THE SROZ AREA SHALL REMAIN FENCED AND UNDISTURBED EXCEPT AS ALLOWED BY AN APPROVED DEVELOPMENT PERMIT.

PROPOSED ENCROACHMENTS
ENCROACHMENTS ARE PROPOSED TO THE VEGETATED CORRIDOR AND IMPACT AREA.

- ENCROACHMENTS WILL OCCUR IN THE NORTHERN PORTION OF THE VEGETATED CORRIDOR FOR THE CITY REQUIRED WIDENING OF SW DAY RD AND IN THE SOUTHERN PORTION FOR THE TAPMAN CREEK CROSSING. THESE AREAS ARE VEGETATED ENTIRELY BY INVASIVE SPECIES INCLUDING HIMALAYAN BLACKBERRY AND REED CANARY GRASS. NO TREES OR NATIVE SPECIES WILL BE REMOVED AS A RESULT OF CONSTRUCTION.
- ENCROACHMENTS WILL OCCUR ON BOTH SIDES OF THE CREEK FOR THE ROAD CROSSING AND ALONG THE EASTERN PORTION OF THE IMPACT AREA FOR THE ROAD WIDENING, CREEK CROSSING, AND CONSTRUCTION OF A VEGETATED WATER QUALITY AND STORMWATER DETENTION FACILITY. NO ENCROACHMENTS TO TAPMAN CREEK OR THE WETLANDS ARE PROPOSED. NO TREES WILL BE REMOVED FROM THE SROZ.
- DEVELOPMENT ACTIVITY HAS BEEN LIMITED TO THE IMPACT AREA WHERE PRACTICAL EXCEPT WHERE NECESSARY TO WIDEN SW DAY ROAD AND CROSS TAPMAN CREEK TO ACCESS THE WESTERN PORTION OF THE SITE.

MITIGATION PLANTING
THE MITIGATION PLANTING PLAN WAS DESIGNED ACCORDING SECTION 4.139.07.(02)(E) AND SHALL MEET THE FOLLOWING:

- THE PLANTING PLAN SHALL BE IMPLEMENTED PRIOR TO OR AT THE SAME TIME AS THE IMPACT ACTIVITY IS CONDUCTED.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE NATIVE VEGETATION.
- TREES AND SHRUBS SHALL BE AT LEAST ONE-GALLON IN SIZE AND SHALL BE AT LEAST TWELVE (12) INCHES IN HEIGHT.
- TREES SHALL BE PLANTED BETWEEN EIGHT (8) AND TWELVE (12) FEET ON CENTER, AND SHRUBS SHALL BE PLANTED BETWEEN FOUR (4) AND FIVE (5) FEET ON CENTER, OR CLUSTERED IN SINGLE SPECIES GROUPS OF NO MORE THAN FOUR (4) PLANTS, WITH EACH CLUSTER PLANTED BETWEEN EIGHT (8) AND TEN (10) FEET ON CENTER, WHEN PLANTING NEAR EXISTING TREES, THE DRIP LINE OF THE EXISTING TREE SHALL BE THE STARTING POINT FOR PLANT SPACING MEASUREMENTS.
- SHRUBS SHALL CONSIST OF AT LEAST TWO (2) DIFFERENT SPECIES. IF FIVE (5) TREES OR MORE ARE PLANTED, THEN NO MORE THAN FIFTY (50) PERCENT OF THE TREES MAY BE OF THE SAME GENUS.
- INVASIVE NON-NATIVE OR NOXIOUS VEGETATION SHALL BE REMOVED WITHIN THE MITIGATION AREA PRIOR TO PLANTING AND SHALL BE REMOVED OR CONTROLLED FOR FIVE (5) YEARS FOLLOWING THE DATE THAT THE MITIGATION PLANTING IS COMPLETED.

MITIGATION GOALS AND PERFORMANCE STANDARDS
THE MITIGATION SITE GOAL IS AS FOLLOWS:

ENHANCE 32,890 SQ. FT. OF VEGETATED CORRIDOR TO IMPROVE RIPARIAN CORRIDOR, WATER QUALITY PROTECTION, ECOLOGICAL INTEGRITY AND WILDLIFE HABITAT FUNCTIONS BY REMOVING INVASIVE SPECIES AND MAINTAINING A NATIVE, WOODY-DOMINATED PLANT COMMUNITY.

PERFORMANCE STANDARDS ARE BASED ON METRO'S TITLE 3 WATER QUALITY PERFORMANCE STANDARDS TO PROTECT AND IMPROVE WATER QUALITY AND PROTECT THE FUNCTIONS AND VALUES OF WATER QUALITY RESOURCE AREAS (METRO 2018). THIS PLAN'S PERFORMANCE STANDARDS FOR FOREST AND/OR SHRUB DOMINATED AREAS AND SHALL CONSIST OF THE FOLLOWING:

- ESTABLISHMENT OF PERMANENT MONITORING LOCATIONS DURING THE FIRST ANNUAL MONITORING.
- COVER OF NATIVE HERBACEOUS SPECIES IS AT LEAST 60%.
- COVER OF INVASIVE SPECIES IS NO MORE THAN 10%. AFTER THE SITE HAS MATURED TO THE STAGE WHEN DESIRABLE CANOPY SPECIES REACH 50% COVER, THE COVER OF INVASIVE SPECIES MAY INCREASE BUT MAY NOT EXCEED 30%.
- BARE SUBSTRATE REPRESENTS NO MORE THAN 20% COVER.
- DENSITY OF WOODY VEGETATION IS AT LEAST 1,000 LIVE TREES OR SHRUBS PER ACRE OR THE COVER OF NATIVE WOODY VEGETATION ON SITE IS AT LEAST 50%. NATIVE VOLUNTEER SPECIES MAY BE INCLUDED IN THE COVER OR DENSITY ESTIMATE.
- BY YEAR 3 AND THEREAFTER, AT LEAST 6 DIFFERENT NATIVE SPECIES MUST BE PRESENT, TO QUALIFY, A SPECIES MUST HAVE AT LEAST 5% AVERAGE COVER IN THE HABITAT CLASS AND OCCUR IN AT LEAST 10% OF THE PLOTS SAMPLED.
- BY YEAR 5, A MINIMUM OF EIGHTY (80) PERCENT OF THE TREES AND SHRUBS INITIALLY REQUIRED SHALL REMAIN ALIVE.

MAINTENANCE AND MONITORING

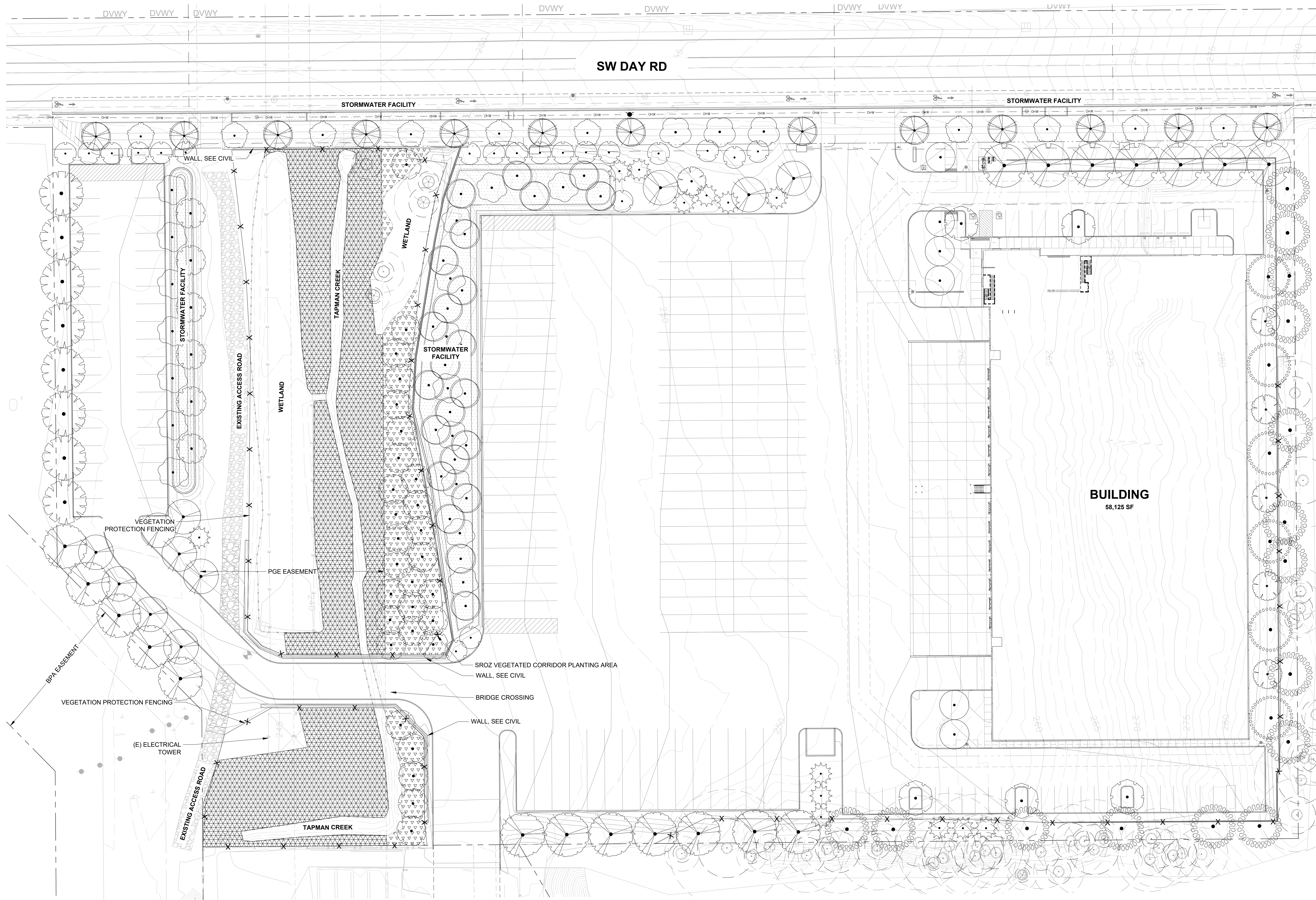
MONITORING WILL OCCUR ANNUALLY OVER A 5-YEAR MONITORING PERIOD TO ASSESS CONDITION OF PLANTINGS, IRRIGATION, MULCH ETC. MONITORING WILL BE CONDUCTED BY QUALIFIED PERSONNEL DURING PEAK GROWING SEASON (JULY-AUGUST). ANNUAL MONITORING REPORTS WILL BE PROVIDED TO THE PLANNING DIRECTOR FOR REVIEW BY DECEMBER OF EACH MONITORING YEAR. THE REPORT SHALL CONTAIN, AT A MINIMUM, PHOTOGRAPHS FROM ESTABLISHED PHOTO POINTS, QUANTITATIVE MEASURE OF SUCCESS CRITERIA, INCLUDING PLANT SURVIVAL AND VIGOR. THE YEAR 1 ANNUAL REPORT SHALL BE SUBMITTED ONE YEAR FOLLOWING MITIGATION ACTION IMPLEMENTATION. THE FINAL ANNUAL REPORT (YEAR 5 REPORT) SHALL DOCUMENT SUCCESSFUL SATISFACTION OF MITIGATION GOALS, AS PER THE STATED PERFORMANCE STANDARDS.

THE APPLICANT WILL BE RESPONSIBLE FOR COORDINATING ONGOING MAINTENANCE AND MANAGEMENT. IF THE OWNERSHIP OF THE MITIGATION SITE PROPERTY CHANGES, THE NEW OWNERS WILL HAVE THE CONTINUED RESPONSIBILITIES MAINTENANCE ACTIVITIES INCLUDING MULCHING, WEED REMOVAL, HERBIVORY CONTROL, AND SUPPLEMENTAL PLANTING WILL BE CONDUCTED BY A QUALIFIED CONTRACTOR AT LEAST TWICE PER GROWING SEASON AND ONCE PRIOR TO THE GROWING SEASON OR MORE FREQUENTLY AS INDICATED BY MONITORING RESULTS. ANY FAILED PLANTS WILL BE REPLACED IN-KIND WITH THE CAUSE OF LOSS WILDLIFE DAMAGE, POOR PLANT STOCK, DROUGHT, WEED OVERGROWTH, ETC.) DOCUMENTED AND ADDITIONAL MAINTENANCE DONE TO ADDRESS THE CAUSE OF LOSS AND ENSURE FUTURE PLANT SURVIVAL.

MITIGATION PLANT SCHEDULE PER SRIR

RIPARIAN FOREST COMMUNITY: 8,600 SQ. FT.					
SPECIES	TYPE	MIN SIZE*	SPACING	QTY	TOTAL
OREGON ASH	TREE	2 GAL	8'0C	19	28
FRAXINUS LATIFOLIA	TREE	2 GAL OR 15" OC	8'0C	37	37
SCOULE'S WILLOW	TREE	2 GAL OR BARE ROOT	8'0C	60	134
SALIX SCOULEIANA	TREE	2 GAL OR BARE ROOT	8'0C	60	134
WESTERN REDCEDAR	TREE	2 GAL OR BARE ROOT	8'0C	60	134
THUJA PLICATA	TREE	1 GAL OR BARE ROOT	5'0C	86	86
REDOSEIER DOGWOOD	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
CORNUS STOLONIFERA	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
RED ELDBERRY	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
SAMBUCUS RACEMOSA	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
SNOWBERRY	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
SYMPHORICARPOS ALBUS	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
CORNUS STOLONIFERA	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
RUBUS SPECTABILIS	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
SWAMP ROSE	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
ROSA PISOCARPA	SHRUB	1 GAL OR BARE ROOT	5'0C	86	86
RIPARIAN SHRUB COMMUNITY: 24,283 SQ. FT.					
SPECIES	TYPE	MIN SIZE*	SPACING	QTY	TOTAL
REDOSEIER DOGWOOD	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
CORNUS STOLONIFERA	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
RED ELDBERRY	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
SAMBUCUS RACEMOSA	SHRUB	1 GAL OR BARE ROOT	5'0C	213	213
SNOWBERRY	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
SYMPHORICARPOS ALBUS	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
SALMONBERRY	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
RUBUS SPECTABILIS	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
SWAMP ROSE	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
ROSA PISOCARPA	SHRUB	1 GAL OR BARE ROOT	5'0C	200	200
INDIAN PLUM	SHRUB	1 GAL OR BARE ROOT	5'0C	200	1,843
OEMLERIA CERASIFORMIS	SHRUB	1 GAL OR BARE ROOT	5'0C	200	1,843
PROTOME 402*	HERB	25 LBS PER ACRE			17.5 LBS

*NATIVE RIPARIAN MIX INCLUDES BLUE WILDRYE (ELYMUS GLAUCUS), MEADOW BARLEY (HORDEUM BRACHYANTHERUM), AND TUFTED HAIRGRASS (DESCHAMPSIA CESPITOSA)



PROPOSED PLANT LIST (REMAINDER OF SITE)

IN COMPLIANCE WITH THE MITIGATION REQUIREMENTS, NATIVE AND DROUGHT TOLERANT VEGETATION IS USED THROUGHOUT THE SITE.

PLANT NAME	NATIVE STATUS
ACCENT TREES	
ACER RUBRUM 'BOWHALL'	NATIVE CULTIVAR
AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE'	NATIVE CULTIVAR
CORNUS KOUSA X NUTTALLII 'KW4-43'	NATIVE CULTIVAR
PRIMARY TREES	
FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS'	NATIVE
PIRUS PONDEROSA	NATIVE
PSUDOTSUGA MENZIESII	NATIVE
QUERCUS GARRYANA	NATIVE
ZELKOVA SERRATA 'GREEN VASE'	NATIVE
SECONDARY TREES	
CALOCEDRUS DECURRENS	NATIVE
TILIA TOMENTOSA 'STERLING'	NATIVE
ULMUS X 'FRONTIER'	NATIVE
STORMWATER TREES	
CORNUS X 'EDDIE'S WHITE WONDER'	NATIVE CULTIVAR
FRAXINUS LATIFOLIA	NATIVE
RHAMNUS PURSHIANA	NATIVE
STREET TREES	
ACER GRANDIDENTATUM 'SCHMIDT' TM	
CORNUS KOUSA 'MILKY WAY'	
PARROTTIA PERSICA 'INGE'S RUBY VASE' TM	
SHRUBS	
ARBUTUS UNEDO 'COMPACTA'	NATIVE CULTIVAR
CORNUS SERICEA 'KELSEY'	NATIVE
DEUTZIA GRACILIS 'NINKO'	NATIVE
GAULTHERIA SHALLOM	NATIVE CULTIVAR
MAHONIA AQUIFOLIUM	NATIVE CULTIVAR
MAHONIA AQUIFOLIUM 'COMPACTA'	NATIVE
MIRICA CALIFORNICA	NATIVE
RIBES SANGUINEUM	NATIVE CULTIVAR
SPIRAEA BETULIFOLIA 'TOR'	NATIVE
SYMPHORICARPOS ALBUS	NATIVE CULTIVAR
VACCINIUM OVATUM	NATIVE
VIBURNUM DAVIDII	NATIVE CULTIVAR
VIBURNUM TINUS 'SPRING BOUQUET'	NATIVE
PERENNIALS	
ACHILLEA MILLIFOLIUM 'ALABASTER'	NATIVE CULTIVAR
ASTER SUBSPICATUS	NATIVE
POLYSTICHUM MUNITUM	NATIVE
PTERIDIUM AQUILINUM	NATIVE
SALVIA X SUPERBA 'CARADONNA'	NATIVE
STORMWATER SHRUBS	
CORNUS SERICEA	NATIVE
HOLCOIDISCUS DISCOLOR	NATIVE
MAHONIA AQUIFOLIUM	NATIVE
RIBES SANGUINEUM	NATIVE
ROSA PISOCARPA	NATIVE
RUBUS SPECTABILIS	NATIVE CULTIVAR
SPIRAEA BETULIFOLIA 'TOR'	NATIVE
SPIRAEA DOUGLASSII	NATIVE
SYMPHORICARPOS ALBUS	NATIVE
GROUND COVERS	
ARCTOSTAPHYLOS UVA-URSI	NATIVE
BOUTELOUJA GRACILIS 'BLONDE AMBITION'	NATIVE
CRUSHED GRAVEL	NATIVE
FESTUCA OCCIDENTALIS	NATIVE
GERANIUM X CANTABRIGIENSE 'BIOKOVO'	NATIVE
MAHONIA REPENS	NATIVE
'PROTOME 402' NATIVE RIPARIAN MIX	NATIVE
SEED MIX NATIVE POLLINATOR MEADOW MIX	NATIVE
SEED MIX NATIVE UPLANDS MEADOW MIX	NATIVE
STORMWATER PLANTING	
CAREX BENSIA	NATIVE
CAREX OBNUPTA	NATIVE
JUNCUS PATENS	NATIVE

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REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	10/06/2022

SHEET TITLE:
**VEGETATED
CORRIDOR
ENHANCEMENT
PLANTING PLAN**

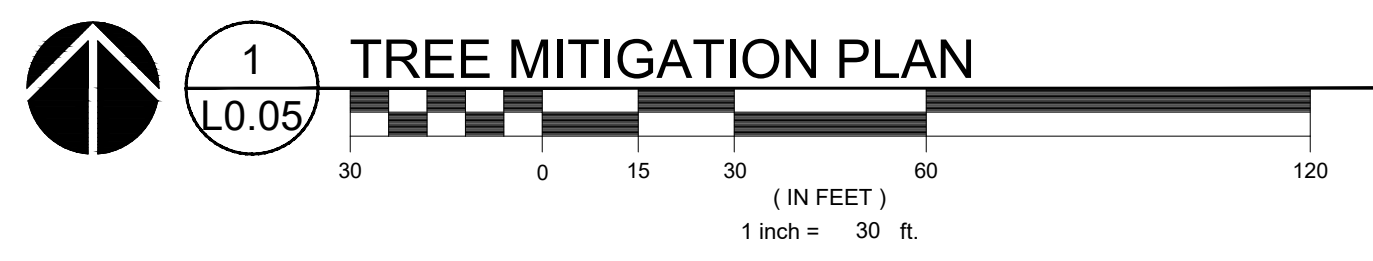
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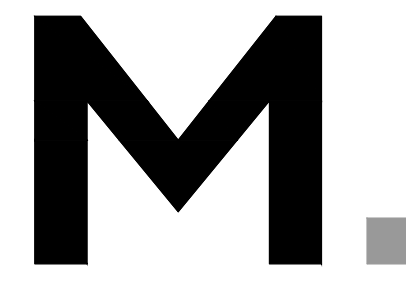
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REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLANCHECK	10/06/2022

SHEET TITLE:
**PLANTING PLAN
- WEST**

DRAWN BY: SKA
CHECKED BY: NRF
SHEET

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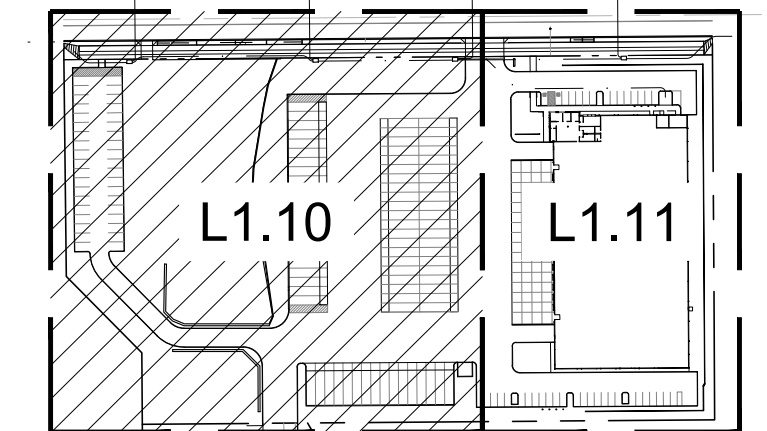
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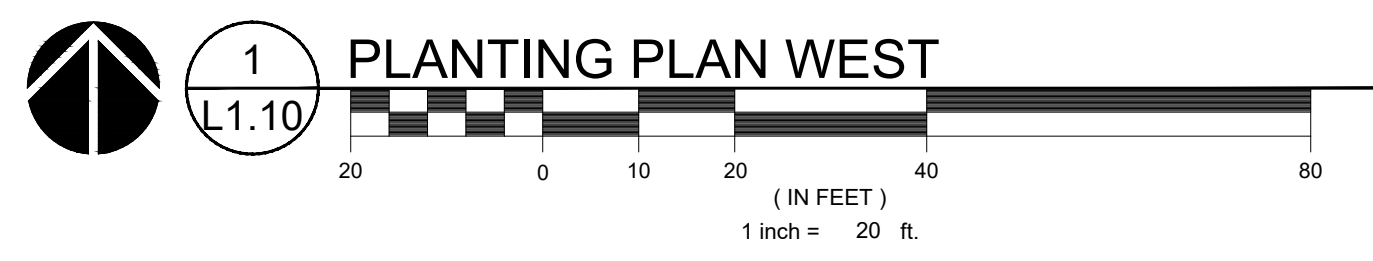
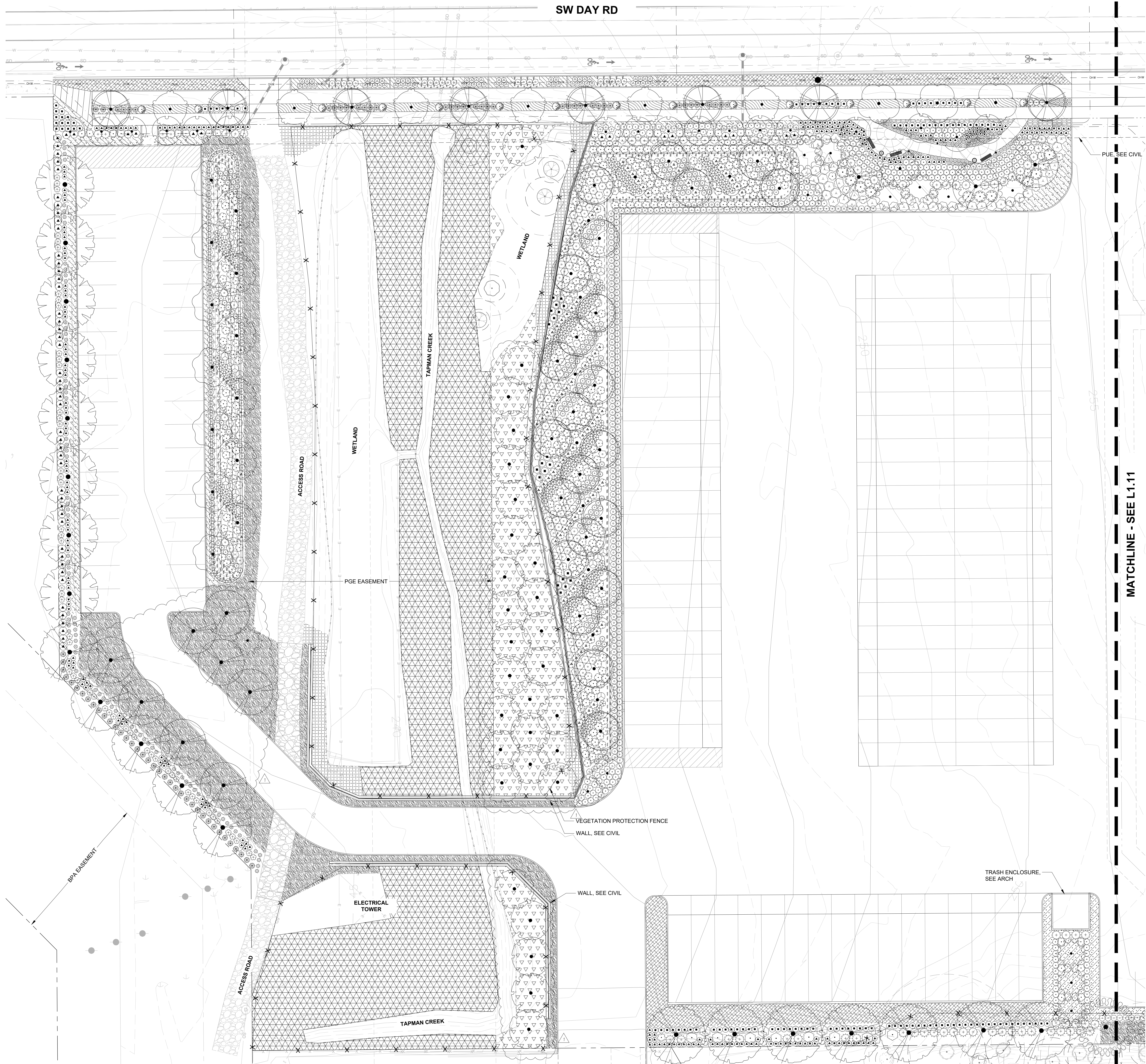
ACCENT TREES	BOTANICAL / COMMON NAME
	AMELANCHIER ALNIFOLIA "AUTUMN BRILLIANCE" SERVICEBERRY
	CORNUS KOUSA & NUTTALLII 104-43" STARLIGHT KOUSA DOGWOOD
	PSUDOTSUGA MENZIESII DOUGLAS FIR
	QUERCUS GARRYANA OREGON WHITE OAK
	ZELKOVA SERRATA "GREEN VASE" GREEN VASE SAWLEAF ZELKOVA
PRIMARY TREES	BOTANICAL / COMMON NAME
	CALOCEDRUS DECAURENS INCENSE CEDAR
	TILIA TOMENTOSA "STERLING" STERLING SILVER LINDEN
SECONDARY TREES	BOTANICAL / COMMON NAME
	CORNUS X "EDDIE'S WHITE WONDER" EDDIE'S WHITE WONDER DOGWOOD
	FRAXINUS LATIFOLIA OREGON ASH
	RHAMNUS PURSHIANA CASCARA BUCKTHORN
STREET TREES	BOTANICAL / COMMON NAME
	ACER GRANDIDENTATUM "SCHMIDT" TM ROCKY MOUNTAIN GLOW MAPLE
	CORNUS KOUSA "MILKY WAY" MILKY WAY KOUSA DOGWOOD
	PARROTIA PERSICA "RUBY VASE" TM RUBY VASE PERSIAN PARROTIA
SHRUBS	BOTANICAL / COMMON NAME
	AMBROSIA UNDOLO "COMPACTA" DWARF STRAWBERRY TREE
	CORNUS SERICEA "KELSEY" KELSEY DWARF REDTIG DOGWOOD
	DEUTZIA GRACILIS "NIKKO" SLIMMER DEUTZIA
	GALThERIA SHALLOM SALAL
	MAHONIA AQUIFOLIUM OREGON GRAPE
	MAHONIA AQUIFOLIUM "COMPACTA" COMPACT OREGON GRAPE
	MYRICA CALIFORNICA PACIFIC WHIPPLE
	RIBES SANGUINEUM RED FLOWERING CURRANT
	SPIRAEA BETULIFOLIA "TOR" BIRCHLEAF SPIREA
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY
	VACCINIUM OVATUM "SCARLET OVATION" SCARLET OVATION EVERGREEN HUCKLEBERRY
	VIBURNUM DAVIDI DAVID VIBURNUM
	VIBURNUM TITUS "SPRING BOUQUET" SPRING BOUQUET LAURUSTRUS
PERENNIALS	BOTANICAL / COMMON NAME
	ACHILLEA MILLEFOLIUM "ALABASTER" ALABASTER YARROW
	ASTER SUBSPICATUS DOUGLAS ASTER
	POLYSTICHUM MUNITUM WESTERN SWORD FERN
	PTERIDIUM AQUILINUM WESTERN BRACKENFERN
STORMWATER SHRUBS	BOTANICAL / COMMON NAME
	CORNUS SERICEA RED TIG DOGWOOD
	HOLDISCUS DISCOLOR OCEAN SPRAY
	MAHONIA AQUIFOLIUM OREGON GRAPE
	RIBES SANGUINEUM RED FLOWERING CURRANT
	ROSA PISGADARA CLUSTERED WILD ROSE
	RUBUS SPECTABILIS SALMONBERRY
	SPIRAEA BETULIFOLIA "TOR" TOR BIRCHLEAF SPIREA
	SPIRAEA DOUGLASSII WESTERN SPIREA
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
GROUND COVERS	BOTANICAL / COMMON NAME
	ARCTOSTAPHYLOS LYVA-URSI KINKY KINKUCK
	BOULEDOU GRACILIS "BLONDE AMBITION" BLONDE AMBITION BLUE GRAMA
	FESTUCA OCCIDENTALIS WESTERN FESCUE GRASS
	MAHONIA REPENS CREeping MAHONIA
	PROTOME 402 NATIVE RIPARIAN MIX PROTOME SEEDS
	SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS
	SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEEDS
STORMWATER PLANTING	BOTANICAL / COMMON NAME
	CAREX DENSA DENSE SEDGE
	CAREX GRANUPTA SLOUGH SEDGE
	JUNCUS PATENS CALIFORNIA GRAY RUSH

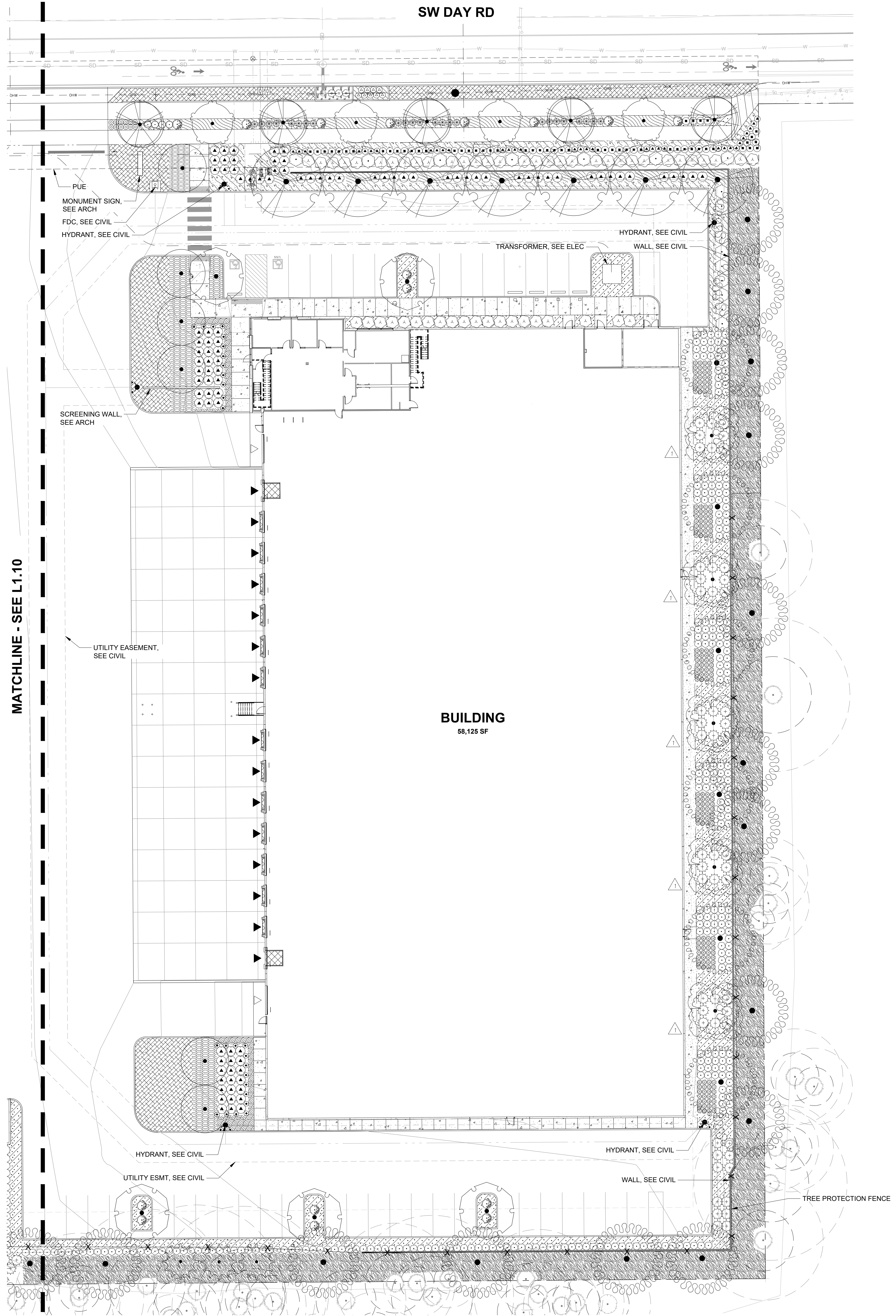
REFERENCE NOTES

1. PLANT SIZE, SPACING, AND QUANTITY. SEE PLANT SCHEDULE L0.02
2. PROPOSED LITING BOX. AVOID PLANTING WITHIN DEFINED ACCESS ZONE.
3. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT.



KEY MAP
SCALE: NTS



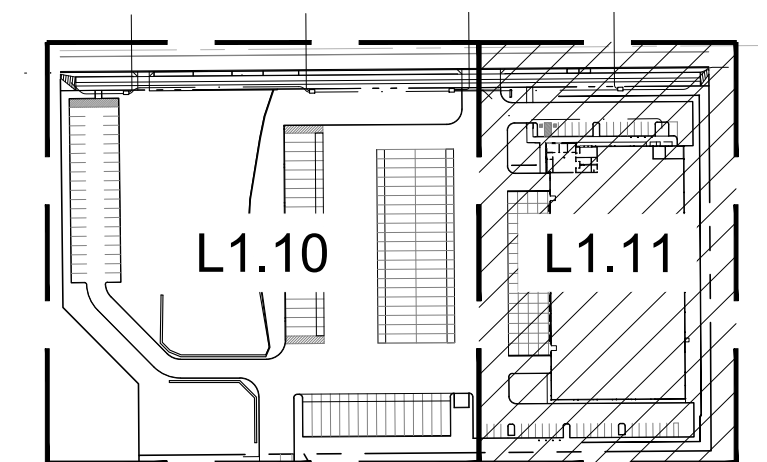


PLANT KEY LEGEND

ACCENT TREES	BOTANICAL / COMMON NAME
	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
	CORNUS KOUSA X NUTTALLII 'KN4-43' STARLIGHT KOUSA DOGWOOD
PRIMARY TREES	BOTANICAL / COMMON NAME
	FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' MARSHALL'S SEEDLESS GREEN ASH
	PINUS PONDEROSA PONDEROSA PINE
	PSEUDOTSUGA MENZIESII DOUGLAS FIR
SECONDARY TREES	BOTANICAL / COMMON NAME
	CALOCEDRUS DECURRENS INCENSE CEDAR
	ULMUS X 'FRONTIER' FRONTIER ELM
STREET TREES	BOTANICAL / COMMON NAME
	ACER GRANDIDENTATUM 'SCHMIDT' TM ROCKY MOUNTAIN GLOW MAPLE
	PARROTTIA PERSICA 'INGE'S RUBY VASE' TM RUBY VASE PERSIAN PARROTTIA
SHRUBS	BOTANICAL / COMMON NAME
	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE
	CORNUS SERICEA 'KELSEY' KELSEY DWARF REDTIG DOGWOOD
	DEUTZIA GRACILIS 'NIKKO' SLENDER DEUTZIA
	GAULTHERIA SHALLON SALAL
	MAHONIA AQUIFOLIUM OREGON GRAPE
	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
	SPIRAEA BETULIFOLIA 'TOR' BIRCHLEAF SPIREA
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY
	VIBURNUM DAVIDII DAVID VIBURNUM
	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS
PERENNIALS	BOTANICAL / COMMON NAME
	POLYSTICHUM MUNITUM WESTERN SWORD FERN
	SALVIA X SUPERBA 'CARADONNA' CARADONNA SAGE
STORMWATER SHRUBS	BOTANICAL / COMMON NAME
	SPIRAEA BETULIFOLIA 'TOR' TOR BIRCHLEAF SPIREA
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
GROUND COVERS	BOTANICAL / COMMON NAME
	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK
	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA
	CRUSHED GRAVEL QUARTER-TEN
	FESTUCA OCCIDENTALIS WESTERN FESCUE GRASS
	GERANIUM X CANTABRIGIENSE 'BIOKOVO' BIOKOVO CRANESBILL
	MAHONIA REPENS CREEPING MAHONIA
	SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS
	SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEEDS
STORMWATER PLANTING	BOTANICAL / COMMON NAME
	CAREX DENSA DENSE SEDGE
	JUNCUS PATENS CALIFORNIA GRAY RUSH

REFERENCE NOTES

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.02
2. PROPOSED UTILITY BOX. AVOID PLANTING WITHIN DEFINED ACCESS ZONE
3. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT.



KEY MAP
SCALE: NTS



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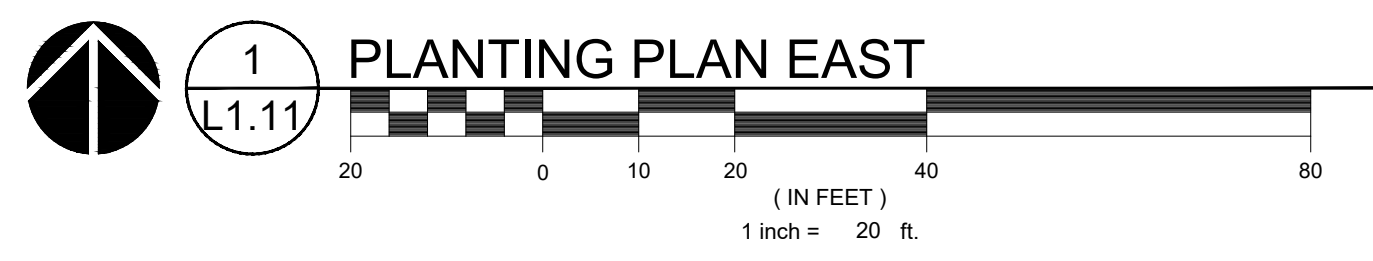
REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	10/06/2022

SHEET TITLE:
PLANTING PLAN - EAST

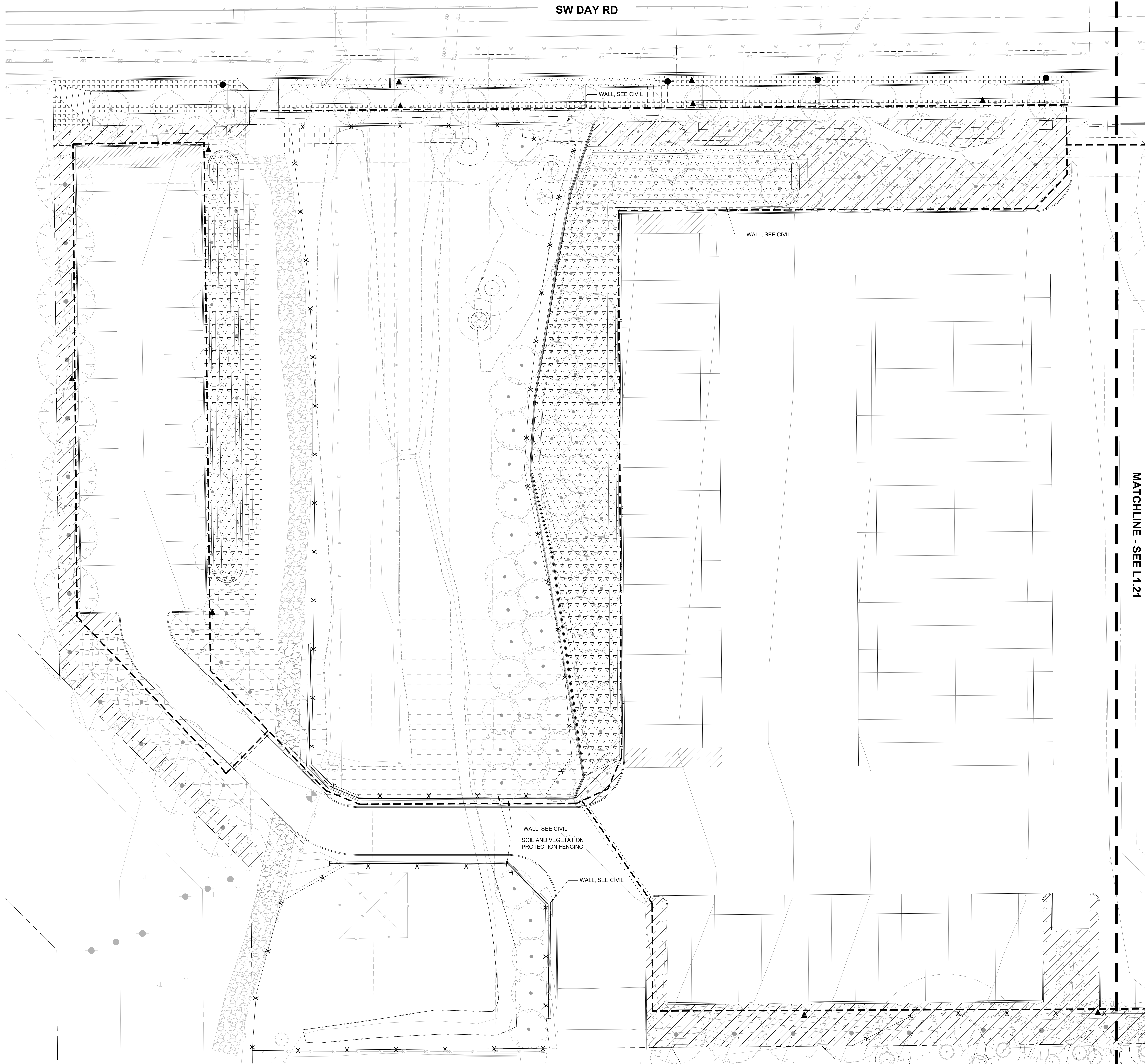
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SHEET

L1.11

JOB NO. **2200502.04**



SW DAY RD



IRRIGATION LEGEND

- POINT OF CONNECTION, INCLUDE DOUBLE CHECK BACKFLOW PREVENTOR, MASTER VALVE AND FLOW SENSOR - SEE DETAIL ON L5.11
- IRRIGATION CONTROLLER
- GATE VALVE
- QUICK COUPLER AT 150' (INTERVALS MAX)
- MAINLINE SLEEVE- DIAMETER AT LEAST TWICE DIAMETER OF PIPE BEING SLEEVED
- MAINLINE-SCHEDULE 40 PVC
- SHRUB AND GROUNDCOVER DRIP AREA
- SHRUB AND GROUNDCOVER SPRAY AREA
- STORMWATER AREA - ZONE SEPARATELY
- LAWN AREA - ZONE SEPARATELY
- TEMPORARY IRRIGATED AREA - ZONE SEPARATELY
- RIGHT-OF-WAY - ZONE SEPARATELY
- MEADOW AREA - ZONE SEPARATELY

REFERENCE NOTES

1. CAREFULLY EXCAVATE IRRIGATION TRENCHES IN VICINITY OF EXISTING TREES. SEE TREE PROTECTION NOTES L0.03 AND IN EXHIBIT D ARBORIST REPORT.



Architecture - Interiors
Planning - Engineering

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**IRRIGATION
PLAN - WEST**

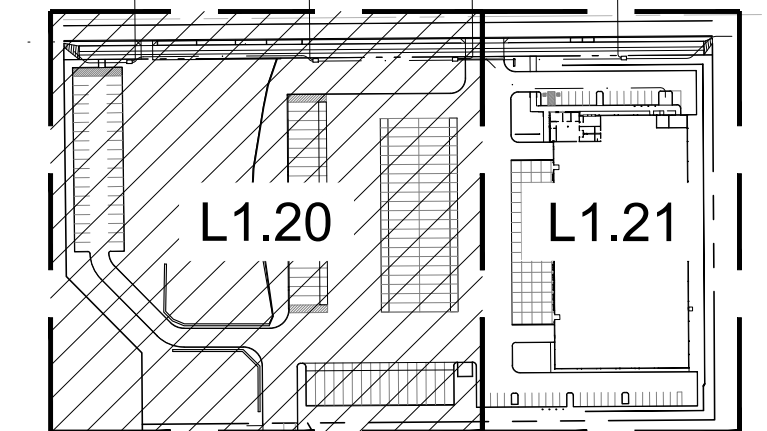
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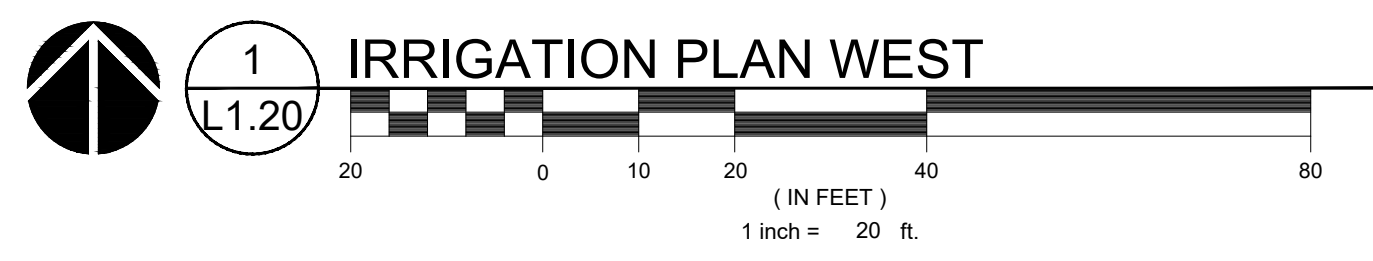
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L1.20

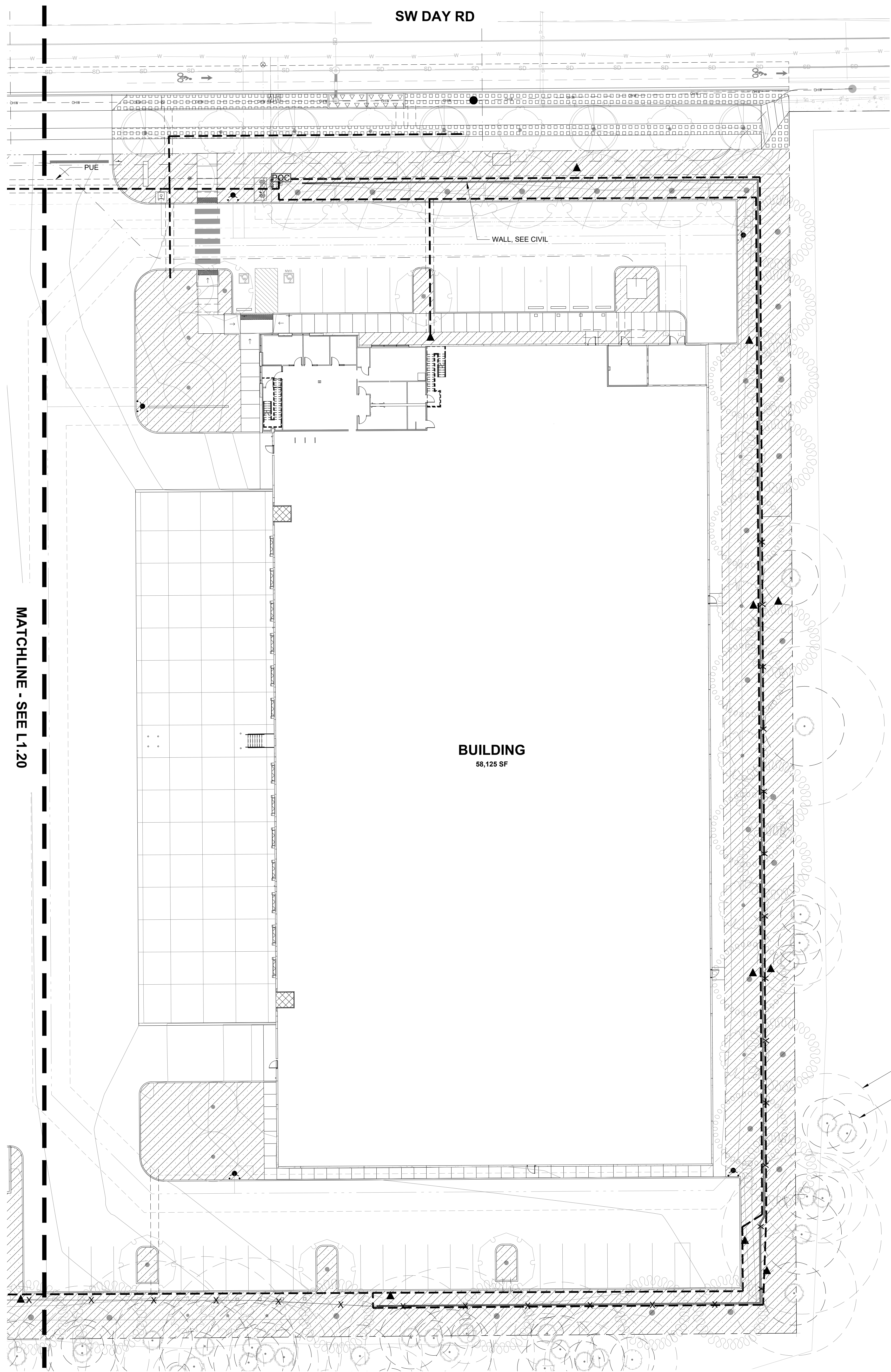
JOB NO. **2200502.04**



SCALE: NTS



SW DAY RD



MATCHLINE - SEE L1.20

BUILDING
58,125 SF

FULL ROOT PROTECTION ZONE
MINIMUM CONSTRUCTION SETBACK RADIUS

IRRIGATION LEGEND

- POINT OF CONNECTION, INCLUDE DOUBLE CHECK BACKFLOW PREVENTOR, MASTER VALVE AND FLOW SENSOR - SEE DETAIL ON L5.11
- IRRIGATION CONTROLLER
- GATE VALVE
- QUICK COUPLER AT 150' (INTERVALS MAX)
- MAINLINE SLEEVE- DIAMETER AT LEAST TWICE DIAMETER OF PIPE BEING SLEEVED
- MAINLINE-SCHEDULE 40 PVC
- SHRUB AND GROUNDCOVER DRIP AREA
- SHRUB AND GROUNDCOVER SPRAY AREA
- STORMWATER AREA - ZONE SEPARATELY
- LAWN AREA - ZONE SEPARATELY
- TEMPORARY IRRIGATED AREA - ZONE SEPARATELY
- RIGHT-OF-WAY - ZONE SEPARATELY
- MEADOW AREA - ZONE SEPARATELY

REFERENCE NOTES

1. CAREFULLY EXCAVATE IRRIGATION TRENCHES IN VICINITY OF EXISTING TREES. SEE TREE PROTECTION NOTES L0.03 AND IN EXHIBIT D ARBORIST REPORT.



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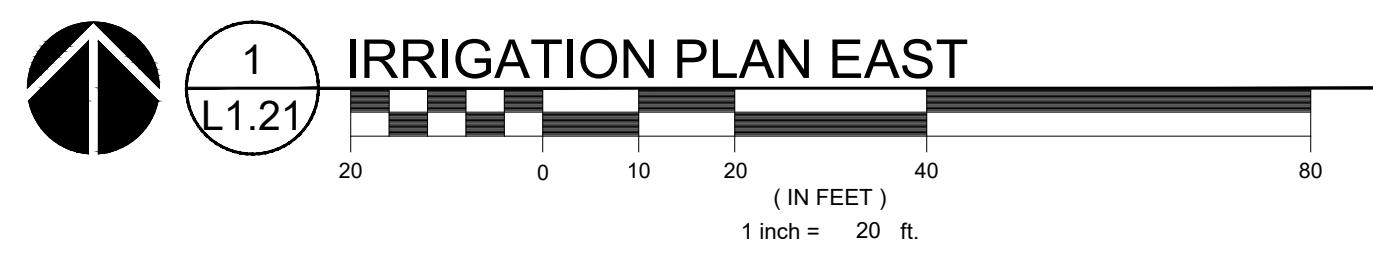
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Delta	Issued As	Issue Date

SHEET TITLE:
**IRRIGATION
PLAN - EAST**

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L1.21

JOB NO. **2200502.04**



KEY MAP
SCALE: NTS



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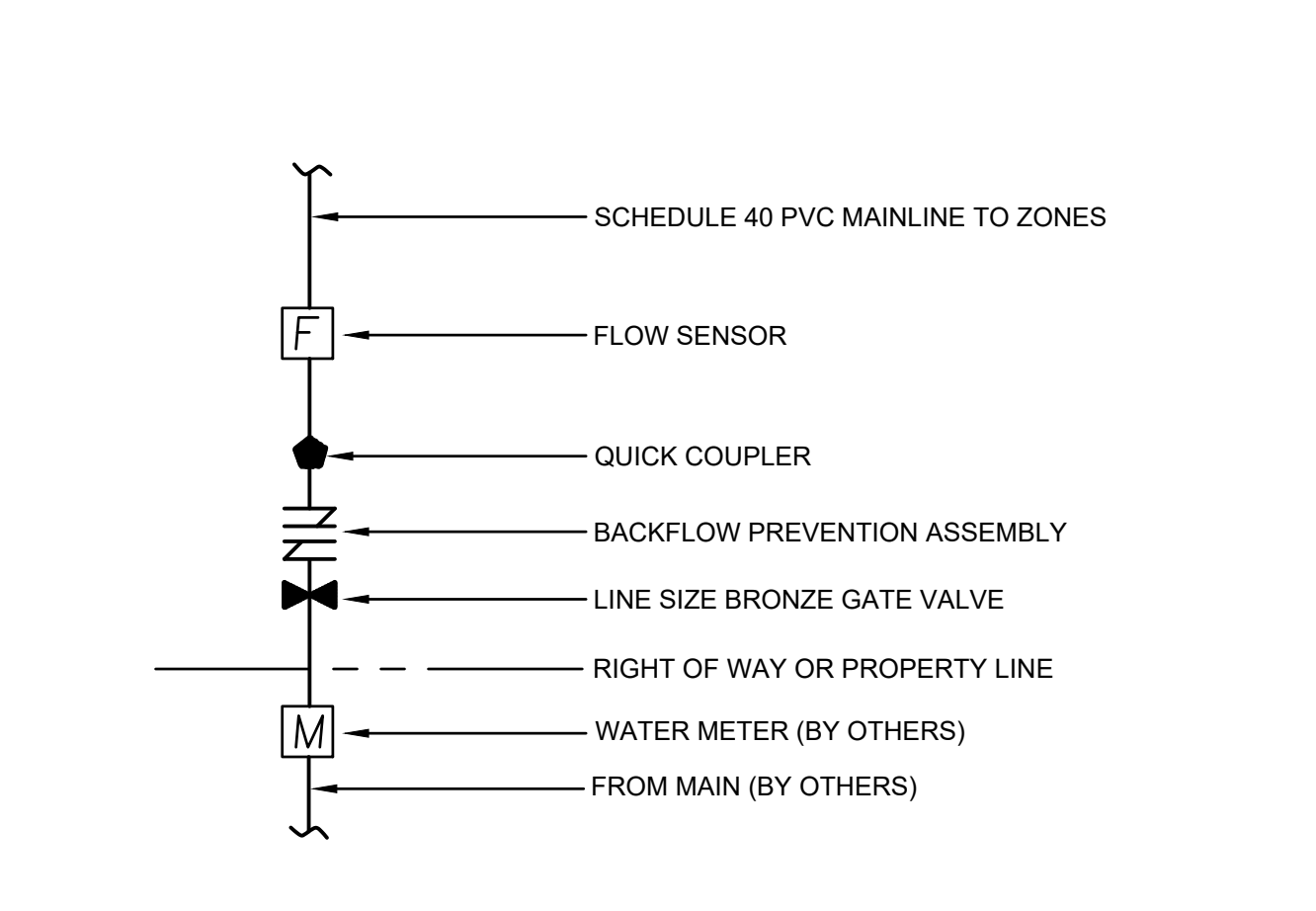
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Delta	Issued As	Issue Date

SHEET TITLE:
IRRIGATION
DETAILS

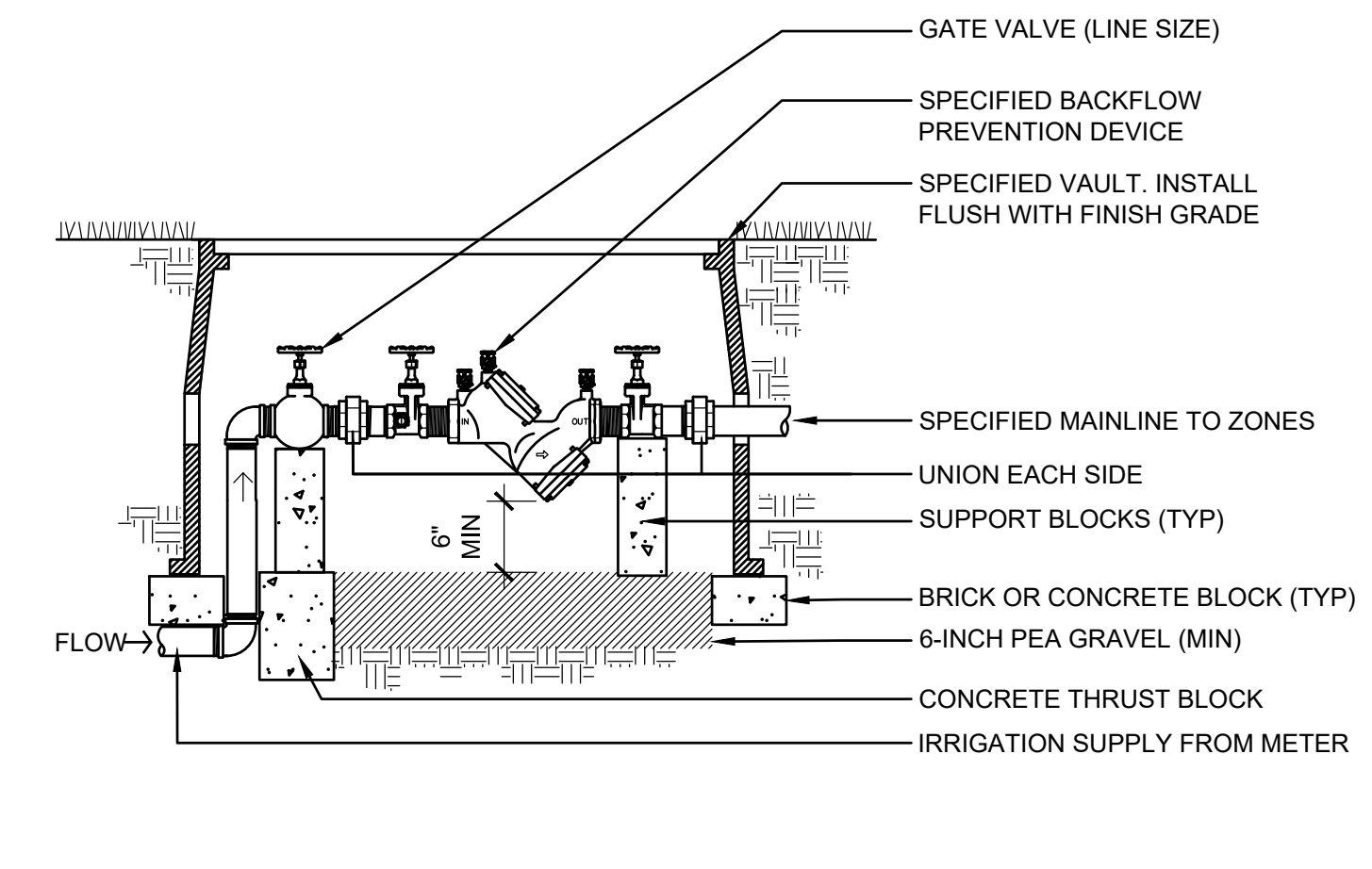
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L5.11

JOB NO. **2200502.04**

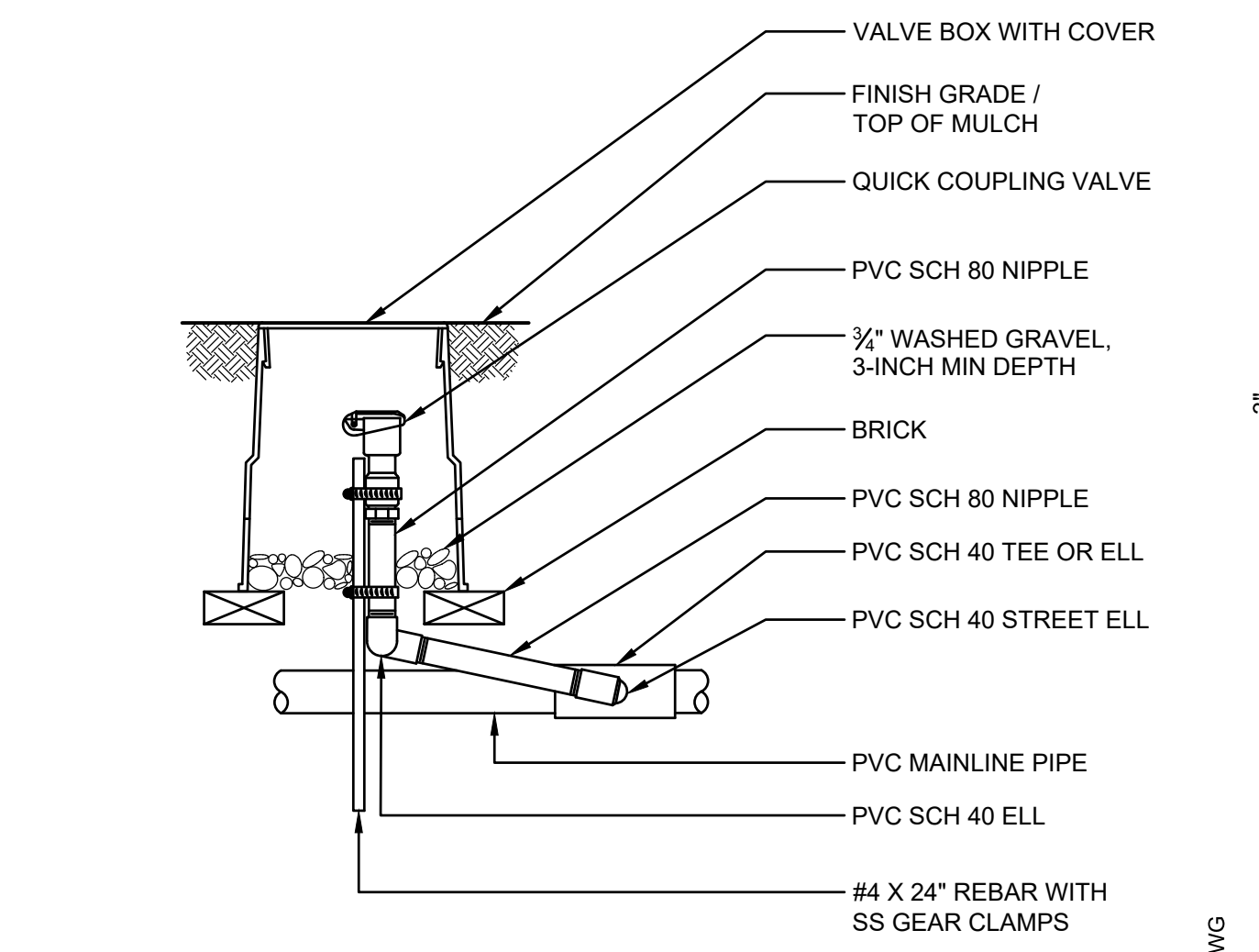


1 POINT OF CONNECTION
 SCALE: NTS

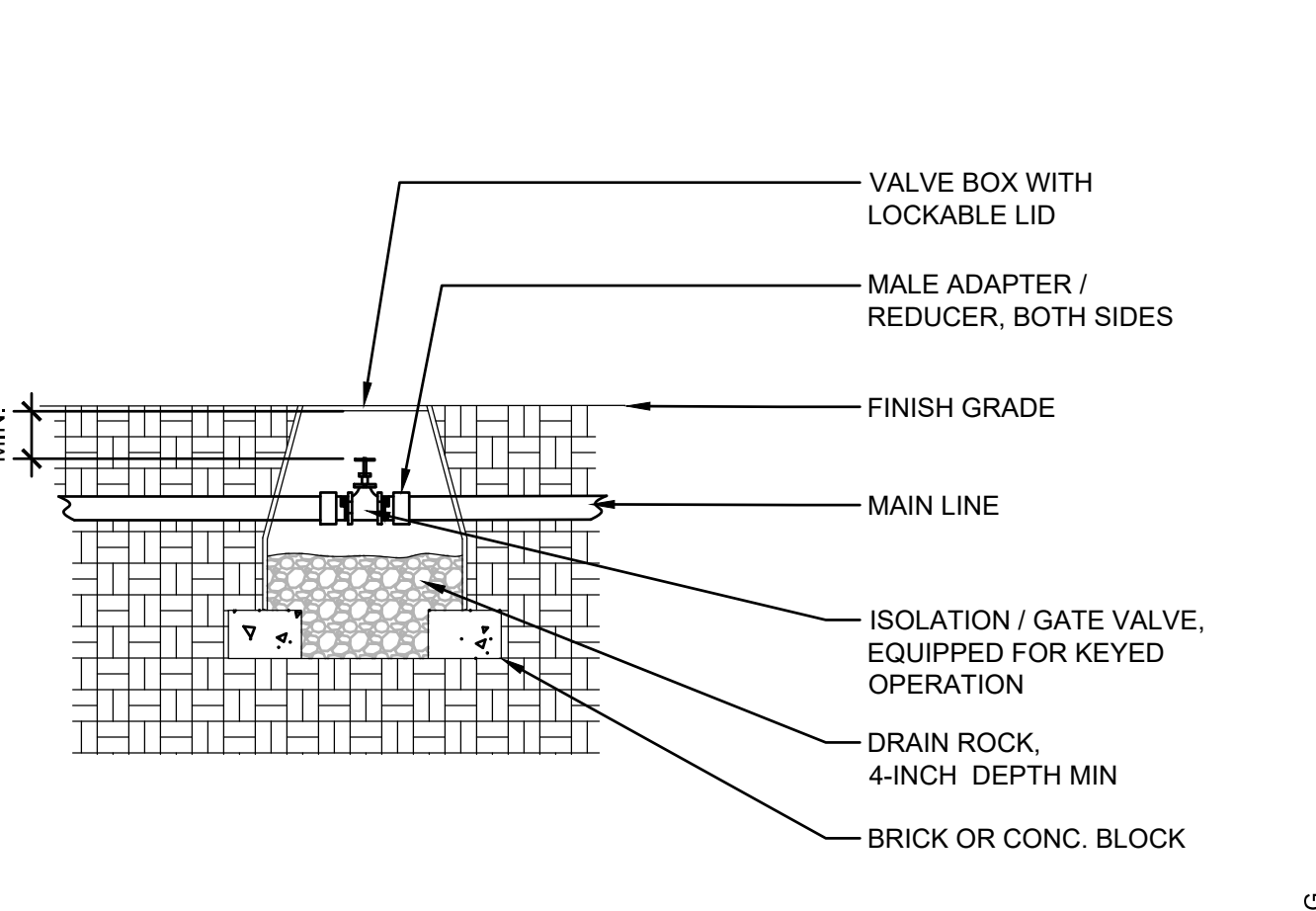


NOTE:
 INSTALL BACKFLOW PREVENTOR PER CODE AND REQUIREMENTS OF PREVAILING JURISDICTIONS.

2 DOUBLE CHECK VALVE
 BACKFLOW PREVENTOR (BELOW GRADE)
 SCALE: NTS

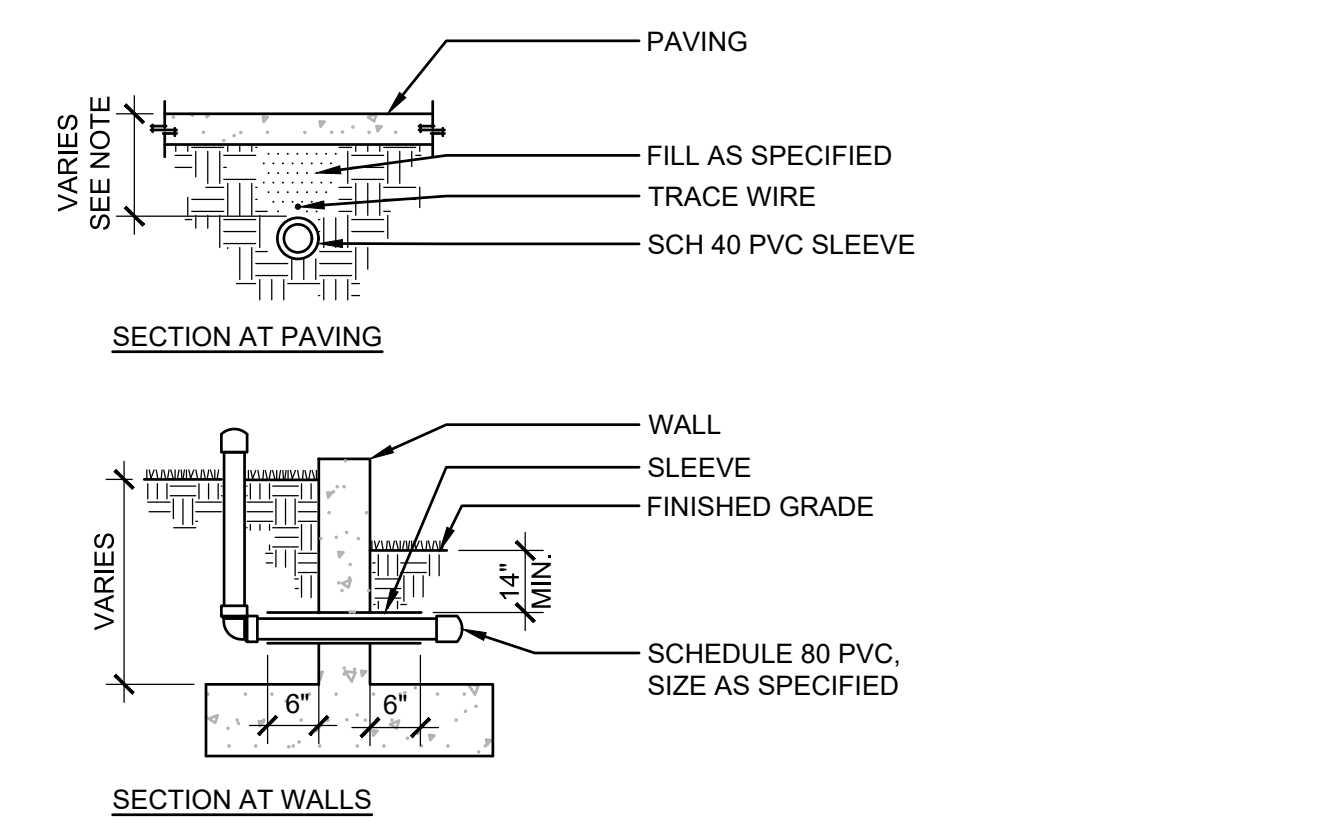


3 QUICK COUPLER VALVE
 SCALE: NTS



NOTES:
 1. SCH 80 ADAPTER AND FITTINGS TO BE SAME SIZE AS ISOLATION VALVE

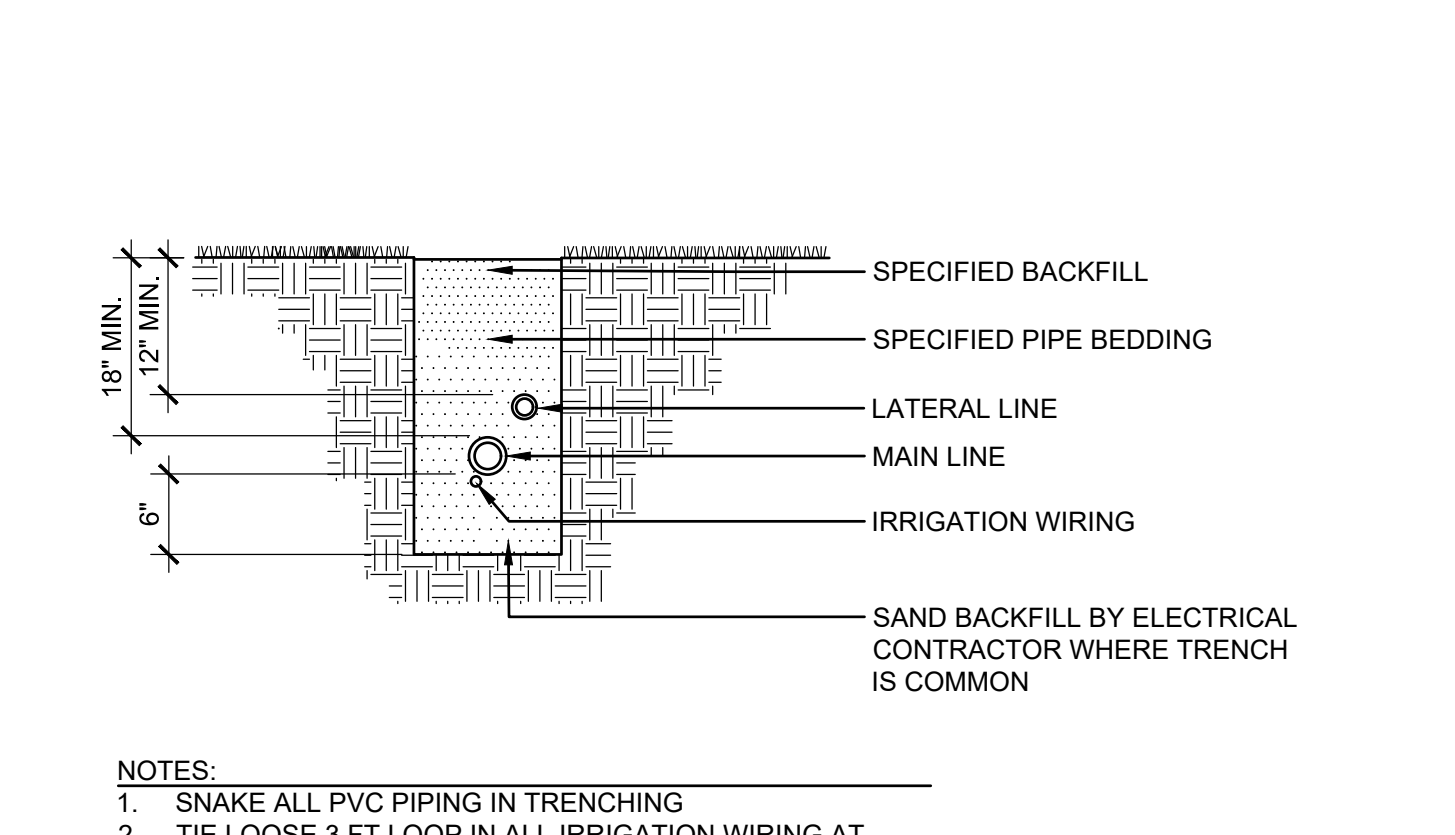
4 ISOLATION / GATE VALVE
 SCALE: NTS



MIN DEPTH OF PIPE
 MAINLINE 18"
 LATERAL AT PAVING 14"
 AT DRIVING SURFACE 24"

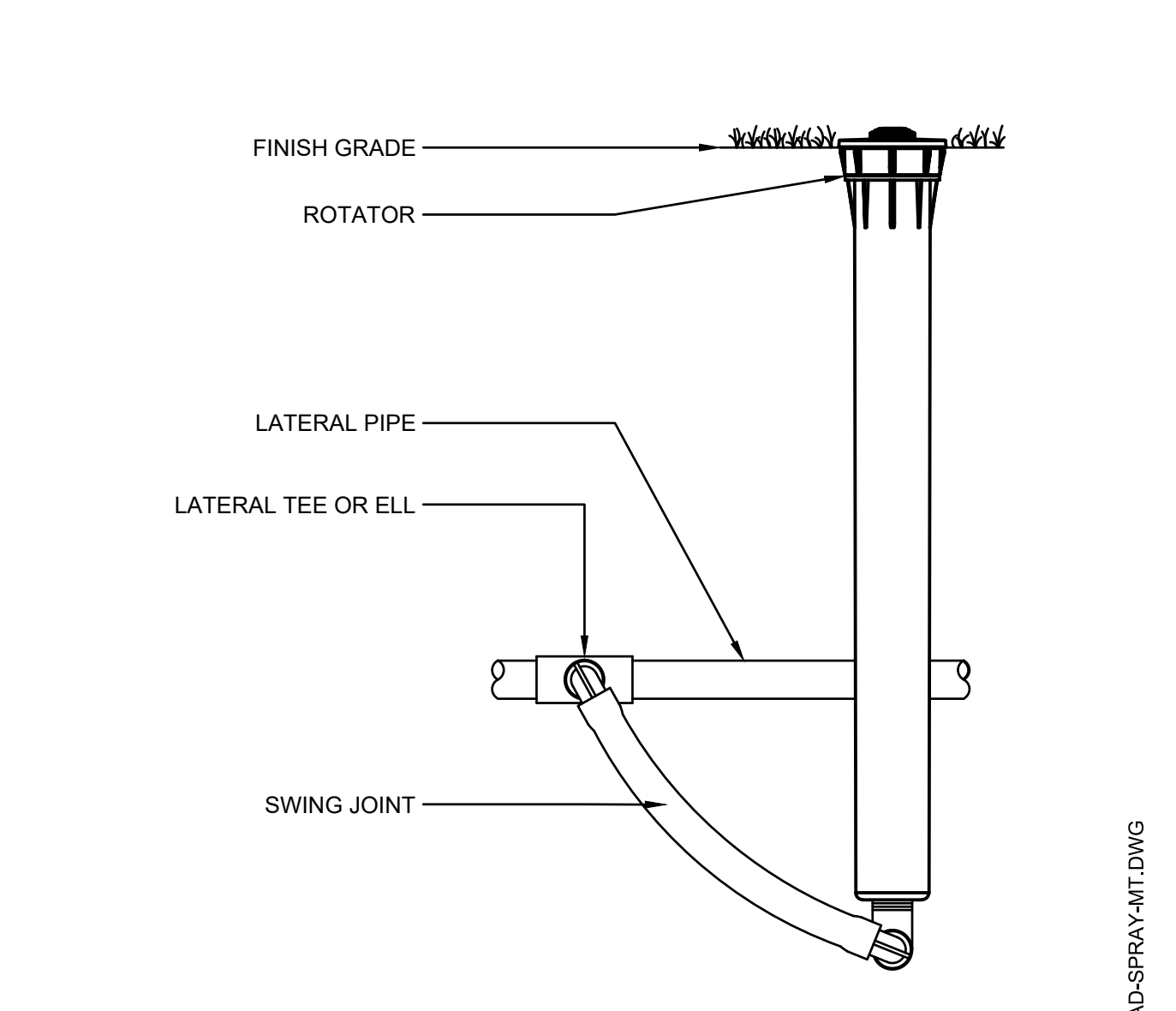
NOTES:
 1. SLEEVES TO BE TWICE DIAMETER OF LINE OR LINES PASSING THROUGH.
 2. EXTEND IRRIGATION SLEEVE 6-INCHES BEYOND EDGE OF PAVING, EACH SIDE.
 3. INSTALL SLEEVES AT SAME TIME AS WALL OR PAVING INSTALLATION.
 4. INSTALL PIPE IN SLEEVE BEFORE BACKFILLING AND CAP BOTH ENDS WITHOUT GLUE.

5 IRRIGATION SLEEVES
 SCALE: NTS



NOTES:
 1. SNAKE ALL PVC PIPING IN TRENCHING
 2. TIE LOOSE 3 FT LOOP IN ALL IRRIGATION WIRING AT CHANGES IN DIRECTION GREATER THAN 30 DEGREES. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.
 3. WHERE ELECTRICAL WIRING DOES NOT SHARE COMMON TRENCH, OVER EXCAVATE TRENCH 2 INCHES MIN AND BACKFILL WITH SPECIFIED BEDDING MATERIAL.
 4. LOCATE ALL WIRING NOT IN COMMON TRENCHES ACCURATELY ON RECORD DRAWINGS.

6 IRRIGATION TRENCHING (TYP)
 SCALE: NTS



7 MULTI-TRAJECTORY SPRAY HEAD
 DETAIL-SUBTITLE
 SCALE: NTS



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Delta	Issued As	Issue Date

SHEET TITLE:
OVERALL FLOOR & ROOF PLANS

DRAWN BY: ADG

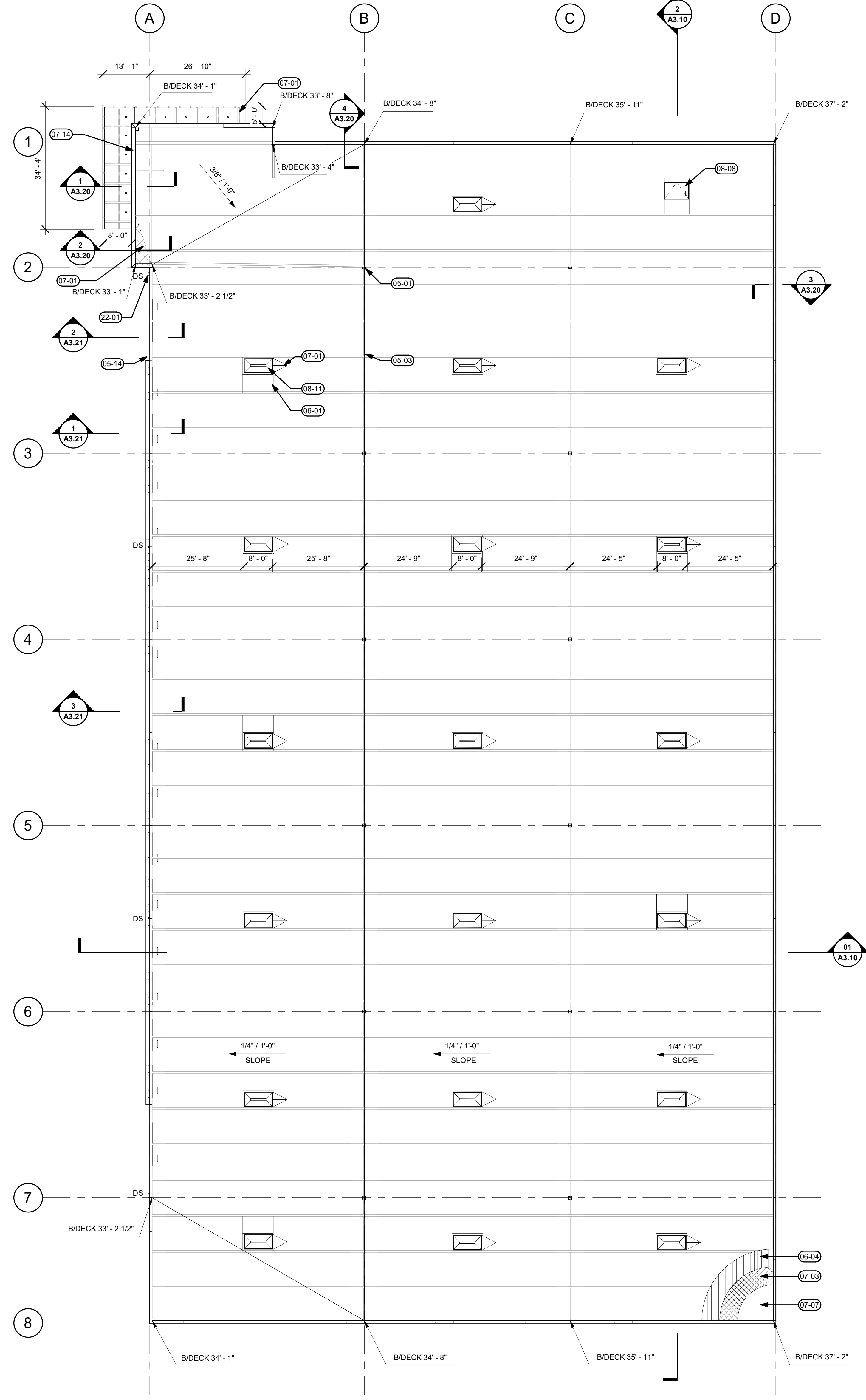
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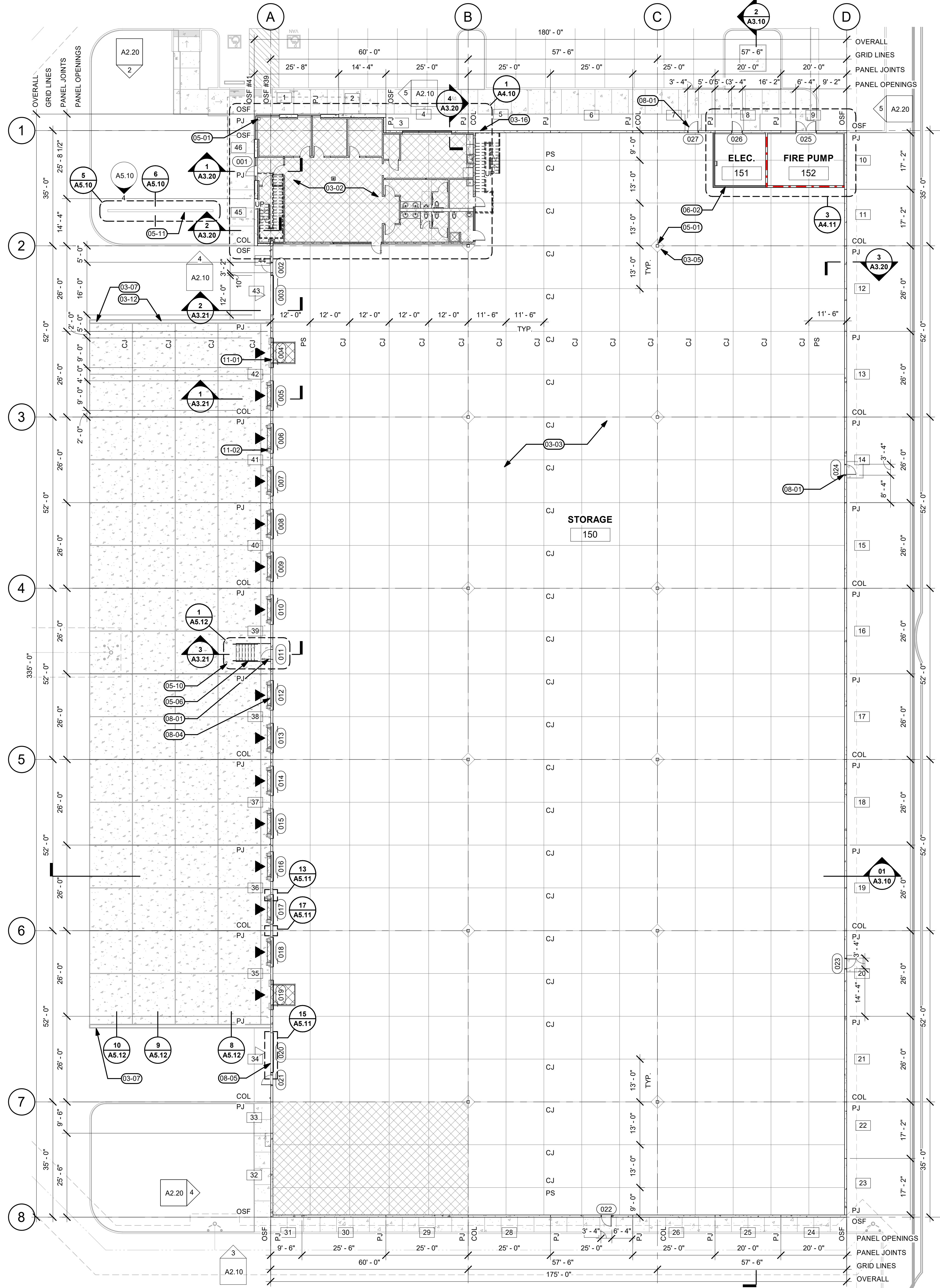
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JOB NO. **2200502.00**

LAND USE RESUBMITTAL 07/26/22



2 OVERALL ROOF PLAN
1/16" = 1'-0"



1 OVERALL FLOOR PLAN
1/16" = 1'-0"

PROJECT INFORMATION

- BUILDING AREA: 58,125 SF
- CLEAR HEIGHT: 30' CLEAR
- DOCK DOORS: 15 POSITIONS
- DRIVE IN DOORS: 2 POSITIONS
- WALL TYPES**
- CONCRETE TILT PANEL - SEE STRUCTURAL ELEVATIONS FOR THICKNESSES
- 1HR RATED WALL PER 11/A5.20
- FULL HEIGHT WALL PER 12/A5.20
- STICK-PIN INSULATION 10/A5.20
- INTERIOR PARTITION PER 13/15/A5.20

GENERAL NOTES - ARCH

- A. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- B. ALL ROOF ELEVATION SHOWN AT DISTANCE ABOVE FINISH FLOOR AND BASED ON FINISH FLOOR ELEVATION OF 0'-0".
- C. PROVIDE 30"-0" CLEAR MINIMUM TO ALL STRUCTURAL MEMBERS, ELECTRICAL FIXTURES, MECHANICAL UNITS AND FIRE SPRINKLERS LINES. SEE BUILDING SECTIONS.
- D. PROVIDE FRAMING FOR ROOF ACCESSORIES (SKYLIGHTS, ROOF HATCH AND MECHANICAL) AS REQUIRED IN ACCORDANCE WITH STRUCTURAL.
- E. ROOF STRUCTURE SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL.
- F. SEE DETAIL XXXX FOR PIPE PENETRATION.
- G. SEE DETAIL XXXX FOR MECHANICAL UNIT CURBING INSTALLATION.
- H. SEE DETAIL XXXX FOR TYPICAL ROOF ASSEMBLY.
- I. MAINTAIN 1/4" MIN SLOPE THROUGHOUT ROOF.
- J. ALL ROOF ELEVATIONS ARE TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- K. BUILDING IS DESIGNED WITH AN ESFR SPRINKLER SYSTEM FOR CLASS I/IV NON ENCAPSULATED COMMODITIES PER NFPA 13. SEE FIRE PROTECTION SPECIFICATIONS. FIRE PUMP IS PROPOSED.
- L. CONTRACTOR TO PROVIDE COVERS, ENCLOSURES AND/OR SEALANTS AT ALL ROOF PENETRATIONS, PIPES, CURBS DUCTS, AND CONNECTIONS. GC TO COORDINATE WITH MEP DESIGN BUILD DISCIPLINES.
- M. PROVIDE SPLASH BLOCKS AT DOWNSPOUTS OF ALL ROOF ACCESSORY STRUCTURES.

GENERAL NOTES - ROOF

- A. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- B. ALL ROOF ELEVATION SHOWN AT DISTANCE ABOVE FINISH FLOOR AND BASED ON FINISH FLOOR ELEVATION OF 0'-0".
- C. PROVIDE 30"-0" CLEAR MINIMUM TO ALL STRUCTURAL MEMBERS, ELECTRICAL FIXTURES, MECHANICAL UNITS AND FIRE SPRINKLERS LINES. SEE BUILDING SECTIONS.
- D. PROVIDE FRAMING FOR ROOF ACCESSORIES (SKYLIGHTS, ROOF HATCH AND MECHANICAL) AS REQUIRED IN ACCORDANCE WITH STRUCTURAL.
- E. ROOF STRUCTURE SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL.
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- M. PROVIDE SPLASH BLOCKS AT DOWNSPOUTS OF ALL ROOF ACCESSORY STRUCTURES.

SYMBOLS LEGEND

- CONTROL JOINT
- CONSTRUCTION JOINT
- PANEL JOINT
- DOWNSPOUT
- POUR STRIP
- DOCK OVERHEAD DOOR
- DOCK DRIVE-IN DOOR
- PANEL NUMBER, SEE STRUCTURAL
- UNDERSLAB VAPOR BARRIER

KEYNOTES

- 03-02 UNDERSLAB VAPOR BARRIER, EXTENTS PER HATCHED AREA, SEE SPECIFICATIONS
- 03-03 6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL
- 03-05 CONCRETE COLUMN BLOCKOUT, SEE STRUCTURAL
- 03-07 MOUNTABLE CONCRETE CURBS AT FINAL 5'-0" OF RETAINING WALL
- 03-12 CONCRETE RETAINING WALL WITH MOUNTABLE CURB, SEE DETAILS 7-11/A5.12
- 03-16 TILT-UP CONCRETE PANEL, SEE STRUCTURAL
- 05-01 HSS COLUMN, SEE STRUCTURAL
- 05-03 STEEL GIRDER, SEE STRUCTURAL
- 05-06 STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12
- 05-10 STEEL BOLLARD, SEE DETAIL 6/A5.12
- 05-11 PERFORATED ARCHITECTURAL METAL PANEL SCREENING WALL FASTENED TO HSS FRAME PER STRUCT. SEE DETAILS 4-6/A5.10
- 05-14 SHEET METAL GUTTER TO MATCH PARAPET COPING, SEE DETAIL 11/A5.13
- 06-01 FRAMING AT ALL ROOF HATCHES, SKYLIGHTS AND ACCESSORIES PER DETAILS, SEE STRUCTURAL
- 06-02 RATED WALL - SEE WALL TYPE LEGEND, EXTENDED TO UNDERSIDE OF ROOF DECK ABOVE.
- 06-04 WOOD ROOF DECK PER STRUCT.
- 07-01 CRICKET AS REQUIRED FOR MIN 1/4" PER FOOT SLOPE, SEE DETAIL 8/A5.13
- 07-03 RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10
- 07-07 ROOF MEMBRANE, SEE TYPICAL ROOF ASSEMBLY 3/A3.10
- 07-14 SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13
- 08-01 INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS. SEE DOOR SCHEDULE
- 08-04 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1. SEE DOOR SCHEDULE
- 08-05 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM WINDOW ABOVE. SEE DOOR SCHEDULE
- 08-08 ROOF ACCESS, SEE DETAILS 14-15/A5.13
- 08-11 4'X8' SKYLIGHT WITH BURGLAR BAR. PROVIDE CRICKET AT HIGH SIDE W/ 1/2" MIN SLOPE. SEE DETAIL 3/A5.13. COORDINATE LAYOUT WITH SPRINKLER CONTRACTOR
- 11-01 DOCK PIT LEVELER. SEE SPECIFICATION & 8/A5.20 FOR PIT DETAIL
- 11-02 EDGE OF DOCK LEVELER. SEE SPECIFICATIONS
- 22-01 6" DIAMETER DOWNSPOUT, SEE DETAIL XXXX. PAINT TO MATCH BACKGROUND COLOR. SEE ELEVATIONS

REVISION SCHEDULE		
Delta	Issued As	Issue Date
A	REV 1	6/10/22

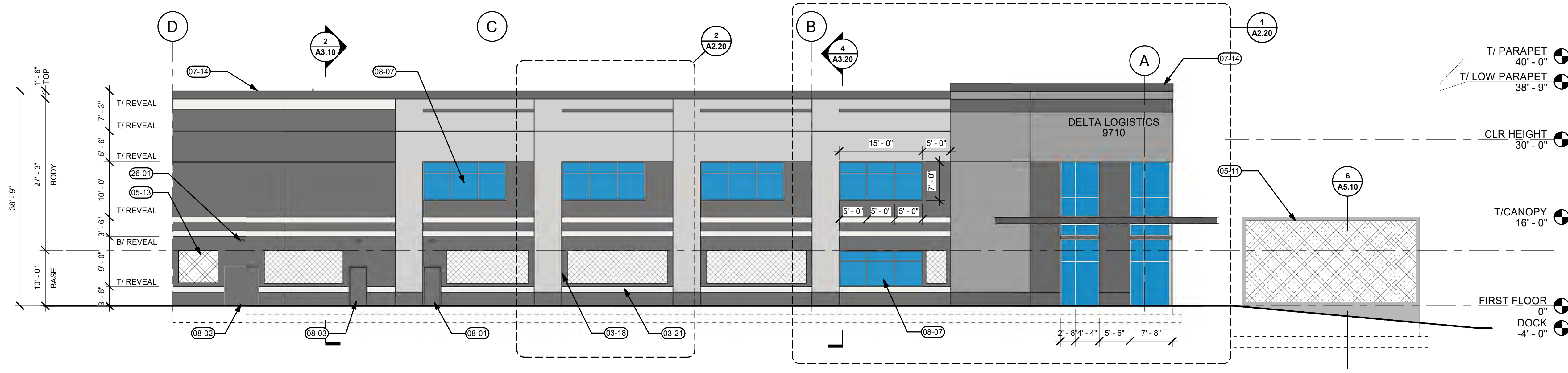
SHEET TITLE:
**BUILDING
 ELEVATIONS**

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 CHECKED BY: SJM
 SHEET

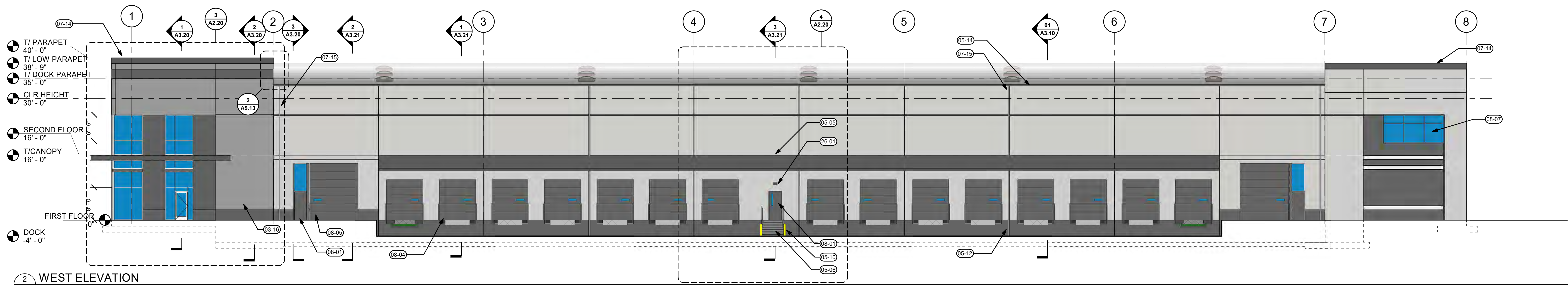
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JOB NO. **2200502.00**

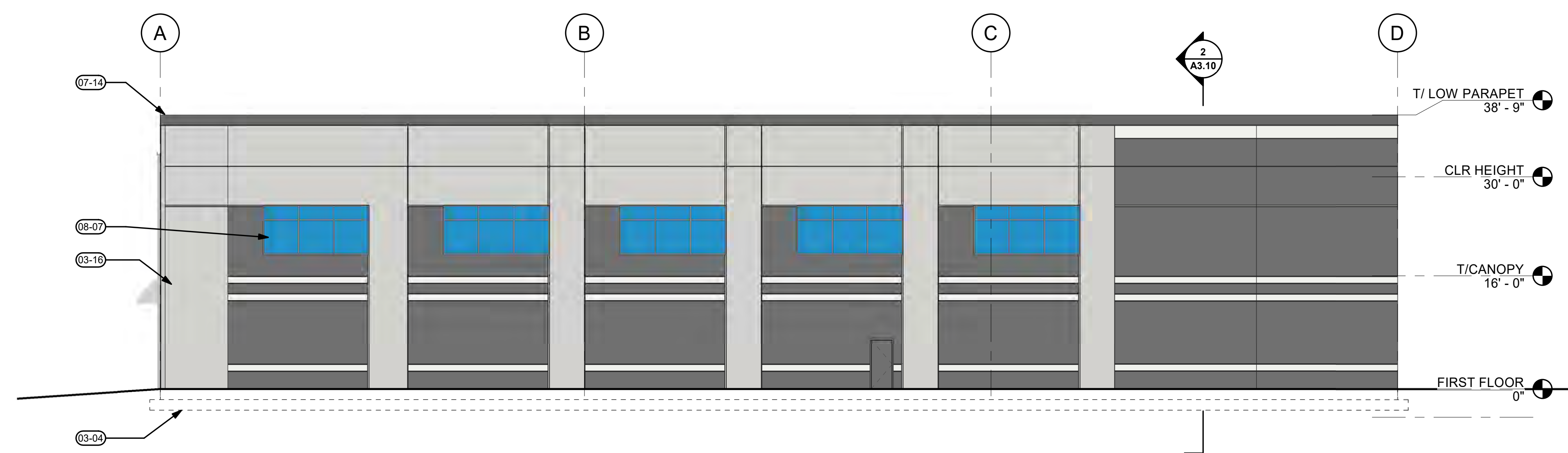
- KEYNOTES**
- 03-04 CONCRETE FOOTING, SEE STRUCTURAL.
 - 03-16 TILT-UP CONCRETE PANEL, SEE STRUCTURAL.
 - 03-18 1" REVEAL "A", SEE DETAIL 5/A5.11
 - 03-21 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11
 - 03-21 CONTINUOUS CFS DOCK CANOPY WITH SHEET METAL ROOF, SEE DETAIL 7/A5.13
 - 05-06 STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12
 - 05-10 STEEL BOLLARD, SEE DETAIL 6/A5.12
 - 05-11 PERFORATED ARCHITECTURAL METAL PANEL SCREENING WALL FASTENED TO HSS FRAME PER STRUCT., SEE DETAILS 4-6/A5.10
 - 05-12 DOWNSPOUT GUARD, SEE DETAIL 17/A5.11
 - 05-13 PERFORATED ARCHITECTURAL METAL PANELS FASTENED TO CONCRETE WALLS WITH VERT. HAT CHANNELS, SEE DETAIL 7/A5.10
 - 05-14 SHEET METAL GUTTER TO MATCH PARAPET COPING, SEE DETAIL 11/A5.13
 - 07-14 SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13
 - 07-15 DOWNSPOUT, SEE DETAIL XXXX
 - 08-01 INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
 - 08-02 INSULATED DOUBLE HM PERSONNEL DOOR, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
 - 08-03 INSULATED HM PERSONNEL DOOR AT ELECTRICAL ROOM, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
 - 08-04 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1, SEE DOOR SCHEDULE
 - 08-05 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM WINDOW ABOVE, SEE DOOR SCHEDULE
 - 08-07 STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20
 - 26-01 EXTERIOR LIGHT, DESIGN-BUILD ELECTRICAL TO VERIFY ALL REQUIREMENTS, COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE, SEE CIVIL FOR ADDITIONAL INFORMATION, SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.



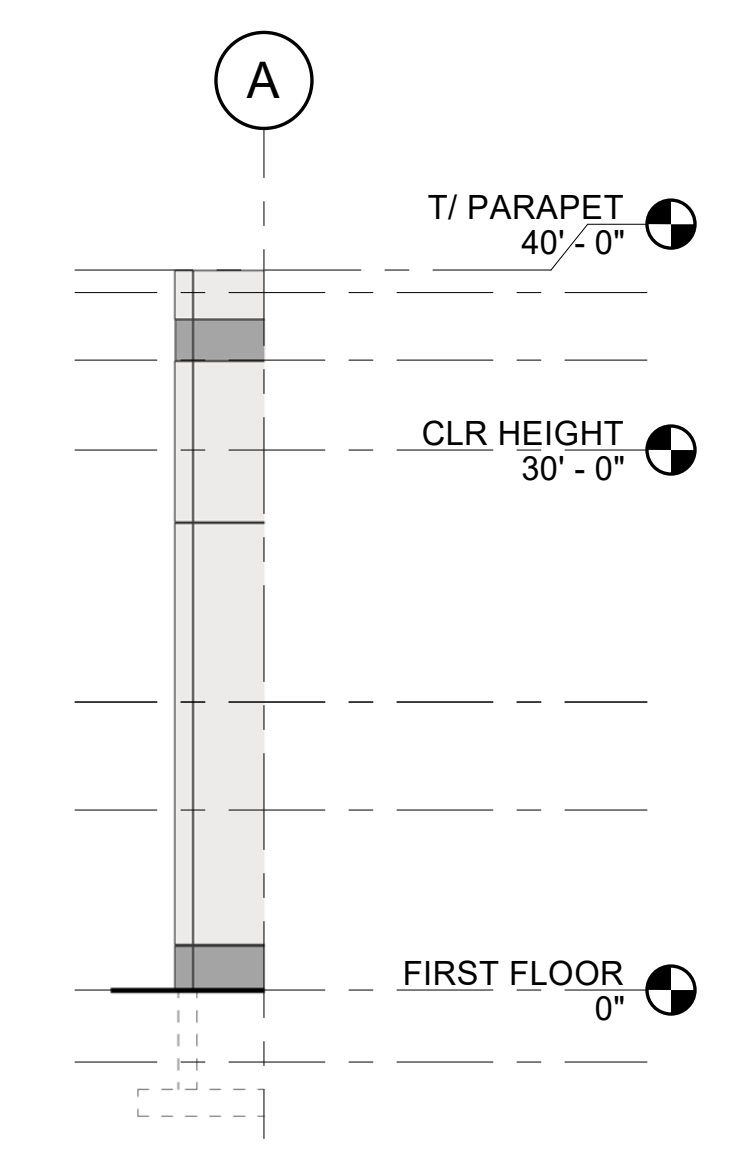
1 NORTH ELEVATION
 A2.10 / 3/32" = 1'-0"



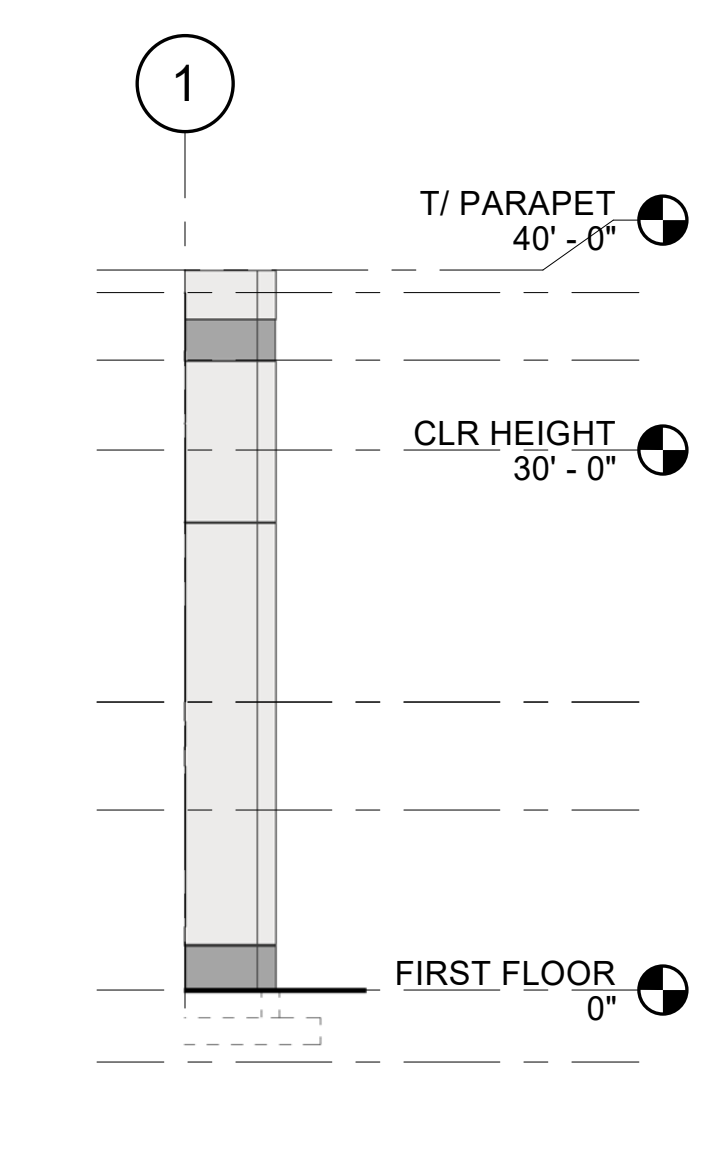
2 WEST ELEVATION
 A2.10 / 3/32" = 1'-0"



3 SOUTH ELEVATION
 A2.10 / 3/32" = 1'-0"



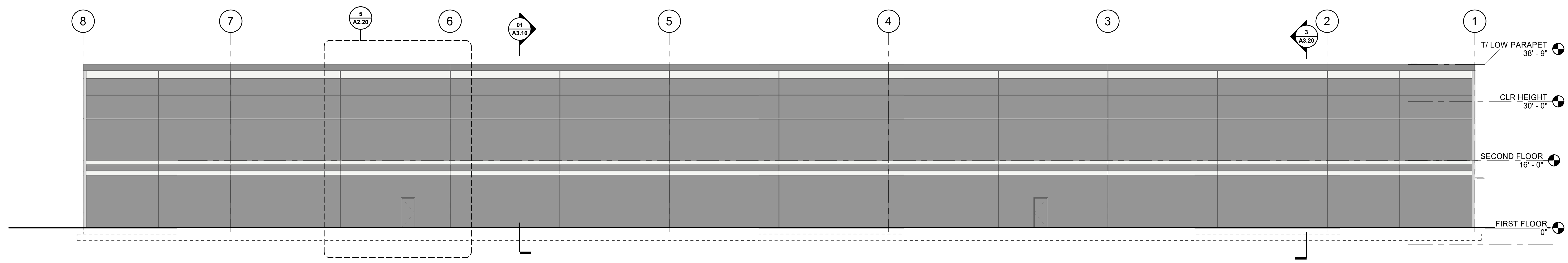
4 SOUTH RETURN WALL
 A2.10 / 3/32" = 1'-0"



5 EAST RETURN WALL
 A2.10 / 3/32" = 1'-0"

PAINT LEGEND

- SW 7006 / EXTRA WHITE
- SW 7667 / ZIRCON
- SW 7670 / GRAY SHINGLE
- SW 7674 / PEPPERCORN



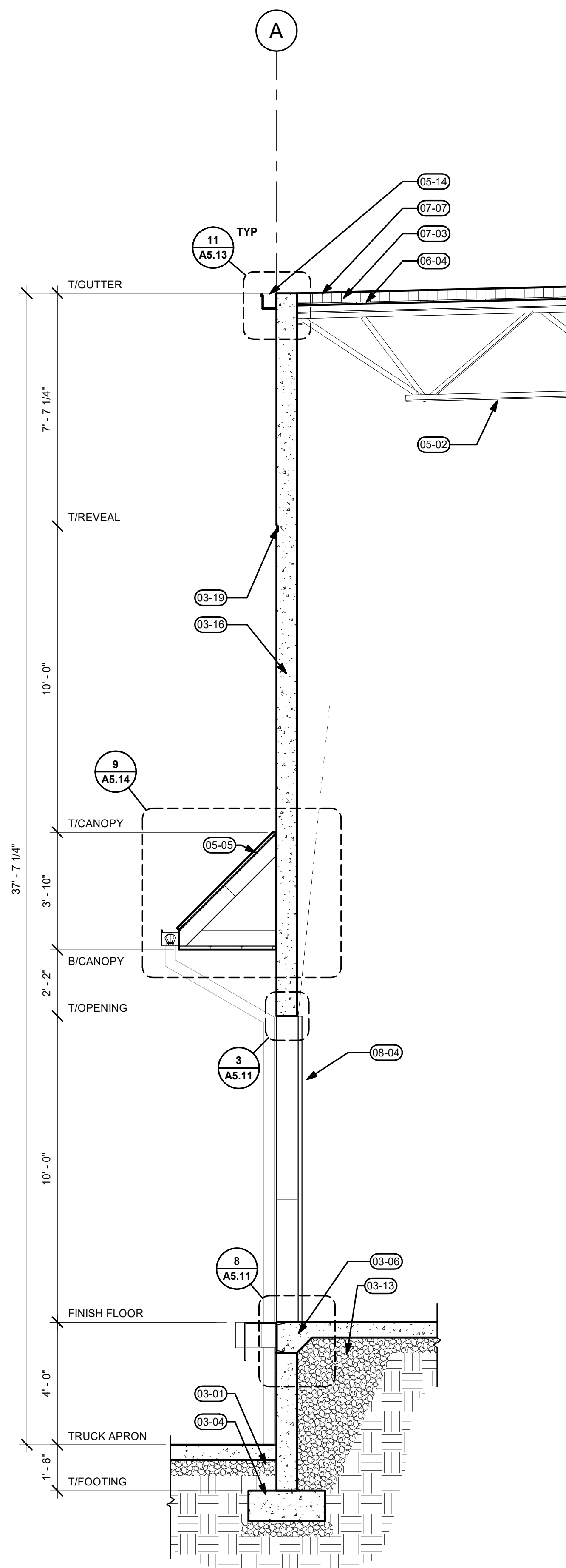
6 EAST ELEVATION
 A2.10 / 3/32" = 1'-0"

GENERAL NOTES

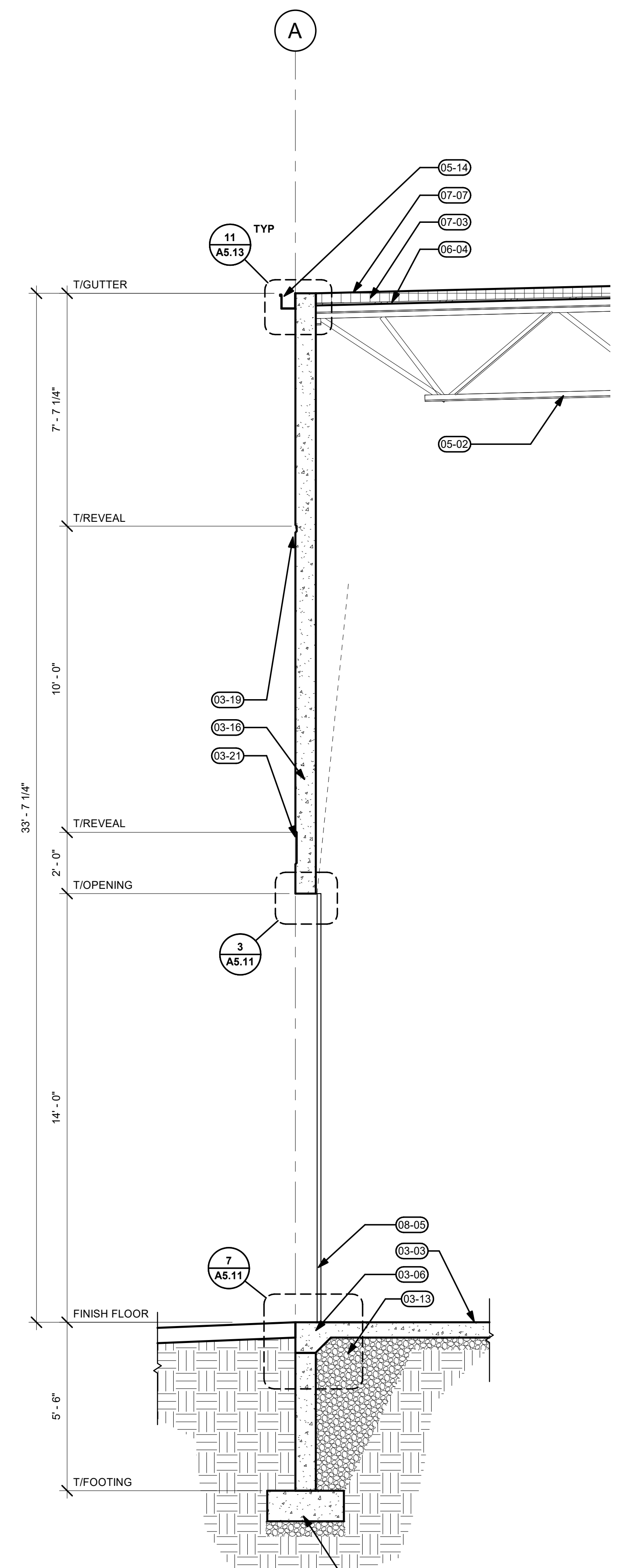
- A. SEE ARCHITECTURAL GENERAL NOTES ON A0.01 FOR ADDITIONAL INFORMATION
- B. SEE A1.10 FOR WALL TYPES

KEYNOTES

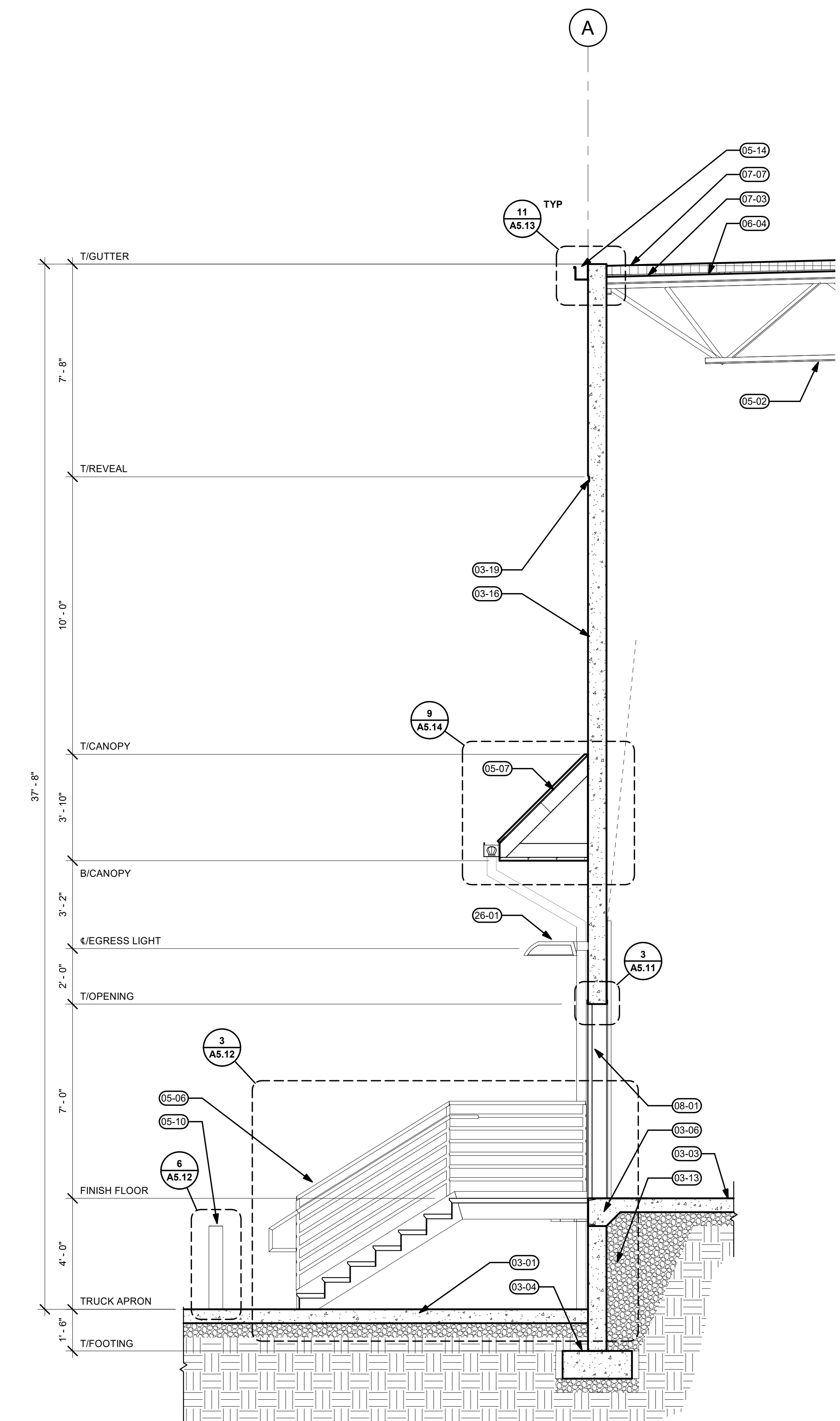
- 03-01 6" CONCRETE TRUCK APRON. SEE CIVIL
- 03-03 6" CONCRETE SLAB ON GRADE. SEE STRUCTURAL
- 03-04 CONCRETE FOOTING. SEE STRUCTURAL
- 03-06 CONCRETE THICKENED SLAB. SEE STRUCTURAL
- 03-13 COMPACT GRANULAR FILL. PER GEOTECH RECOMMENDATIONS
- 03-16 TILT-UP CONCRETE PANEL. SEE STRUCTURAL
- 03-19 2" REVEAL W/ 1/2" DEPTH. SEE DETAIL 5/A5.11
- 03-21 12" REVEAL W/ 1/2" DEPTH. SEE DETAIL 5/A5.11
- 05-02 STEEL JOIST FRAMING. SEE STRUCTURAL
- 05-05 CONTINUOUS CFS DOCK CANOPY WITH SHEET METAL ROOF. SEE DETAIL 7/A5.13
- 05-06 STEEL ACCESS STAIRS. SEE DETAILS 1-4/A5.12
- 05-07 STEEL FRAMED DOCK CANOPY. SEE DETAIL 7/A5.13
- 05-10 STEEL BOLLARD. SEE DETAIL 6/A5.12
- 05-14 SHEET METAL GUTTER TO MATCH PARAPET COPING. SEE DETAIL 11/A5.13
- 06-04 WOOD ROOF DECK PER STRUCT.
- 07-03 RIGID INSULATION. SEE TYPICAL ROOF ASSEMBLY 3/A3.10.
- 07-07 ROOF MEMBRANE. SEE TYPICAL ROOF ASSEMBLY 3/A3.10
- 08-01 INSULATED HM PERSONNEL DOOR. PAINT PER ELEVATIONS. SEE DOOR SCHEDULE
- 08-04 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR. PAINT P-1. SEE DOOR SCHEDULE
- 08-05 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR. PAINT P-1. WITH 1" INSULATED TRANSOM WINDOW ABOVE. SEE DOOR SCHEDULE
- 26-01 EXTERIOR LIGHT. DESIGN-BUILD ELECTRICAL TO VERIFY ALL REQUIREMENTS. COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE. SEE CIVIL FOR ADDITIONAL INFORMATION. SHOE BOX STYLE. DARK ANODIZED FINISH AND FULL CUT OFF.



1 WALL SECTION @ DOCK DOOR
A3.21 3/8" = 1'-0"



2 WALL SECTION @ DRIVE-IN PANEL
A3.21 3/8" = 1'-0"



3 WALL SECTION @ DOCK STAIR
A3.21 3/8" = 1'-0"

Project

DELTA LOGISTICS
9710 SW DAY RD.
CITY OF
WILSONVILLE, OR

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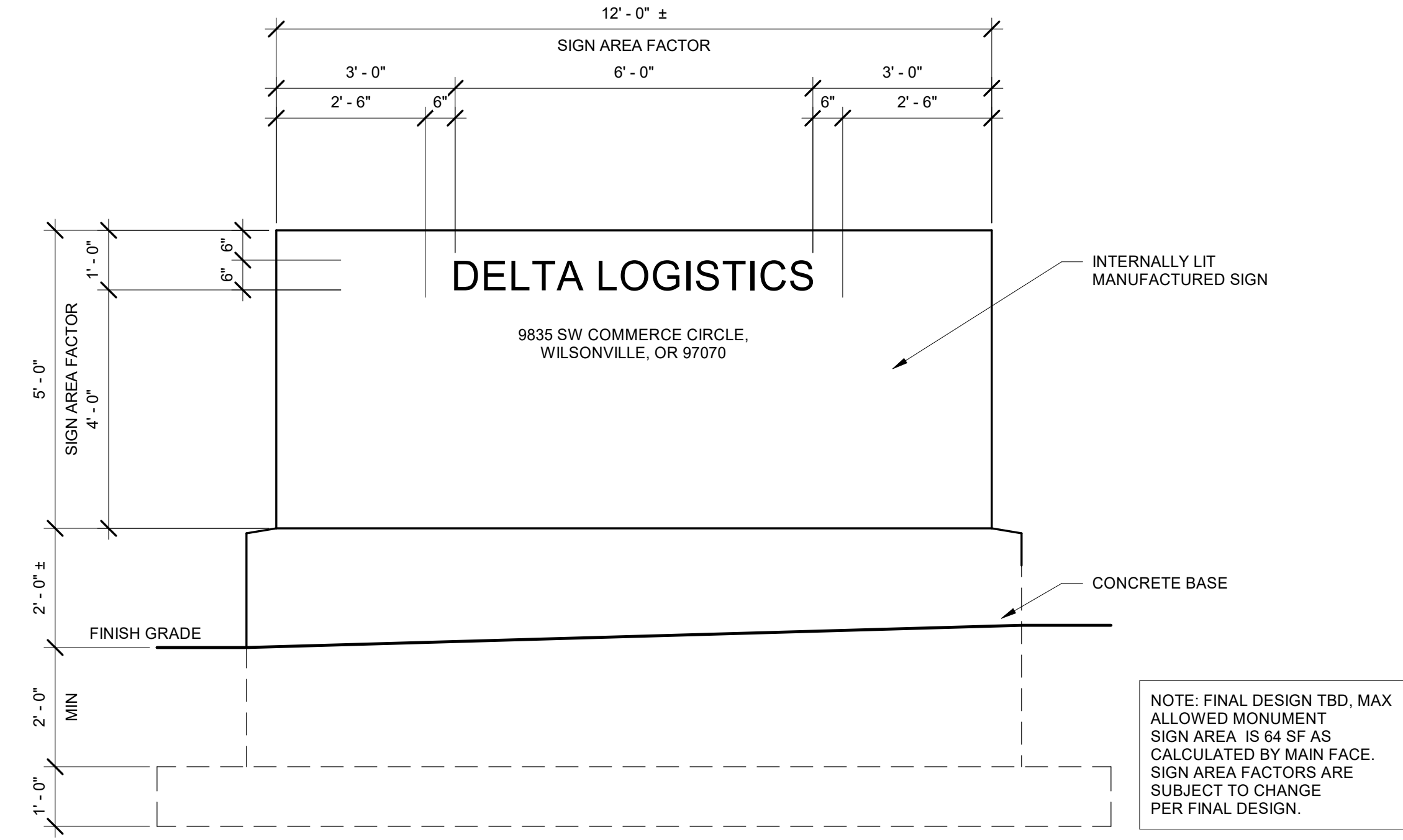
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Delta	Issued As	Issue Date

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SECTIONS**

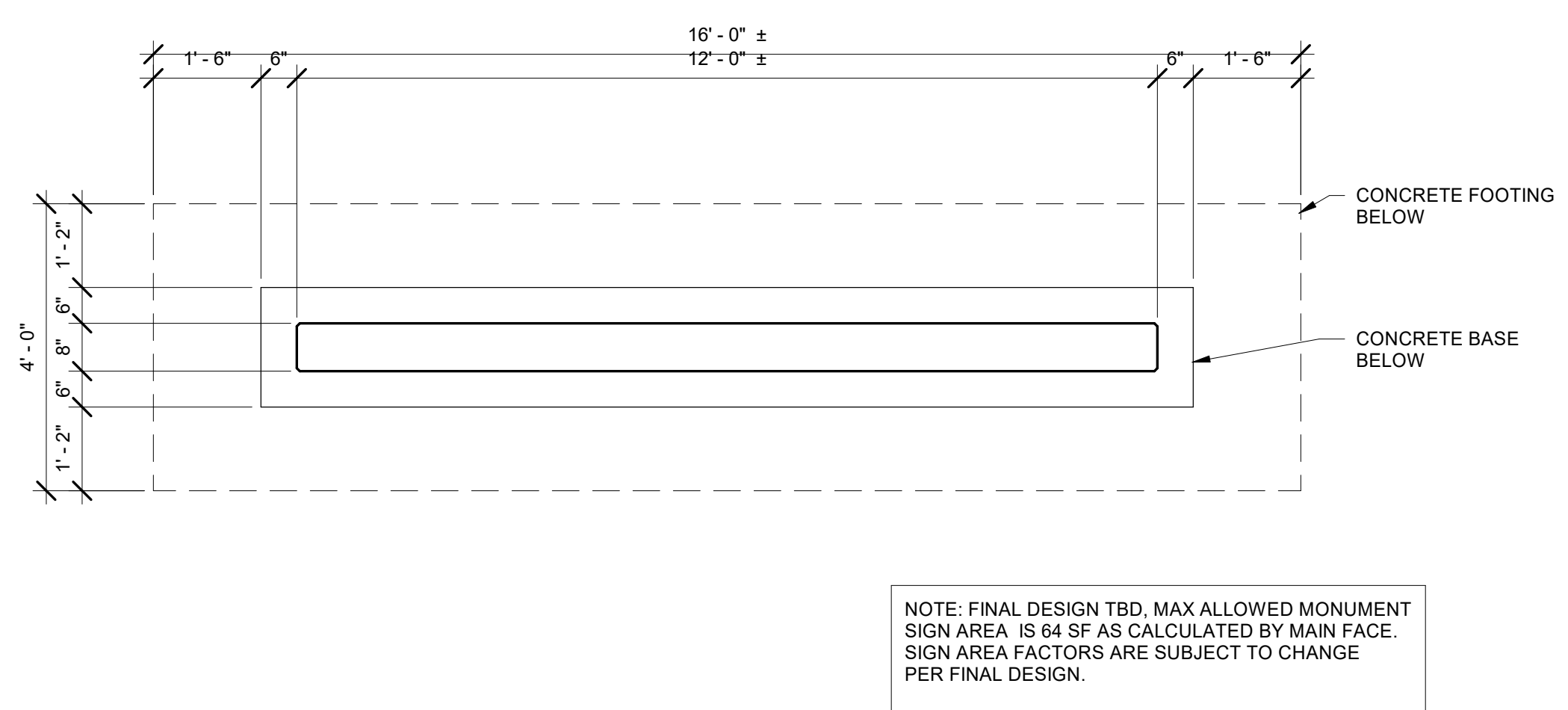
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CHECKED BY: SJM
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A3.21

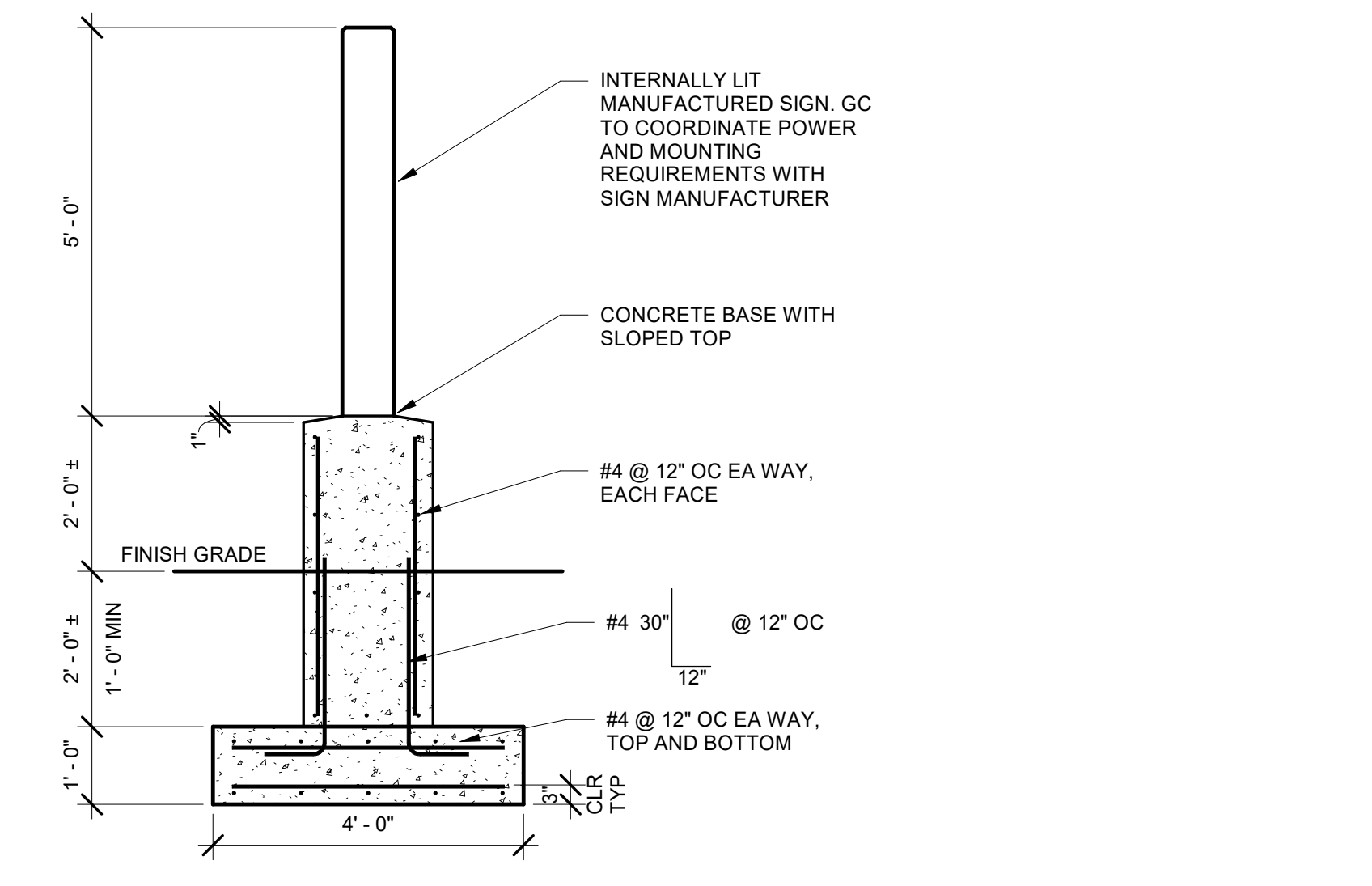
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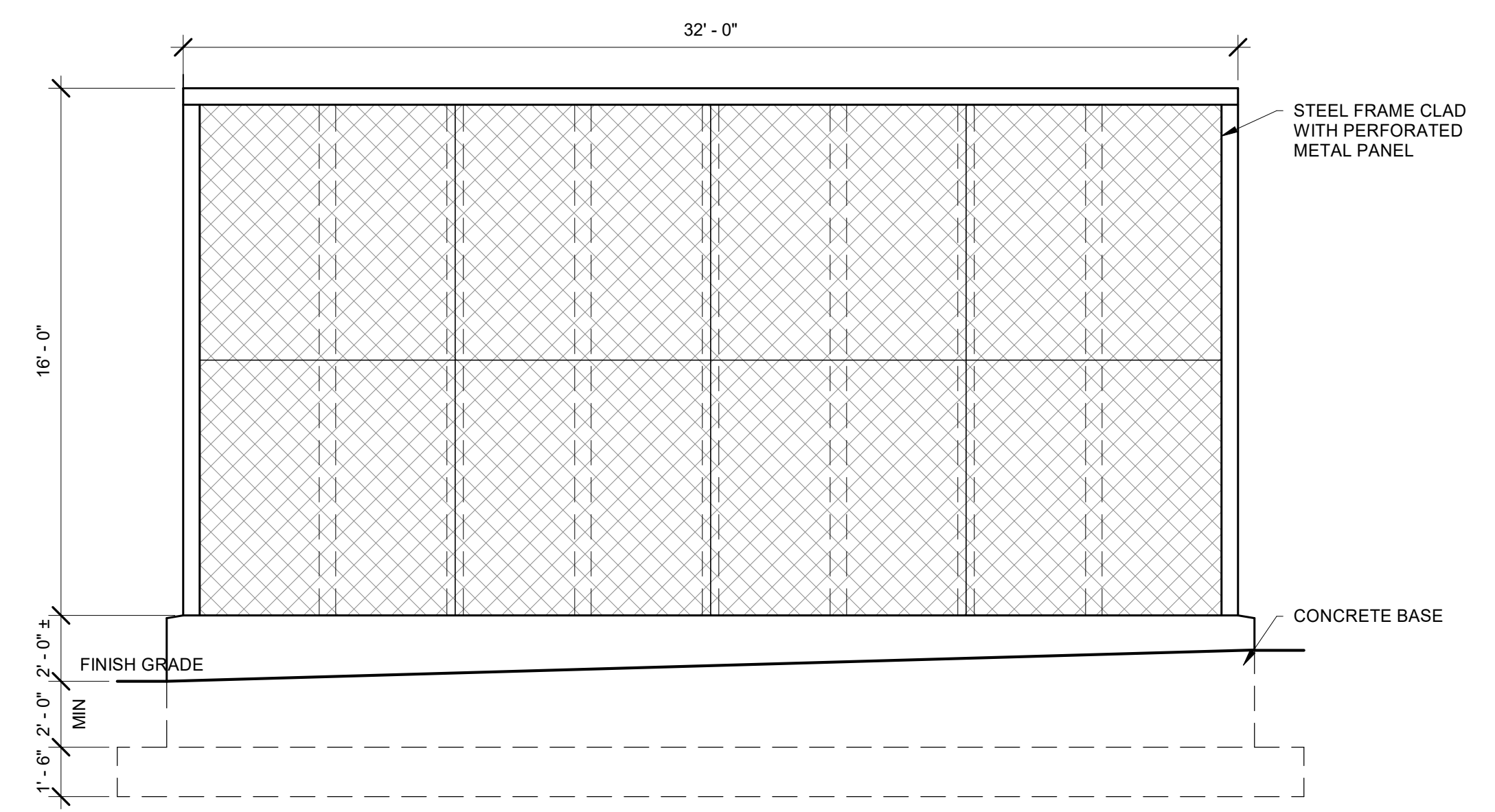
1 MONUMENT SIGN ELEVATION
 A5.10 1/2" = 1'-0"



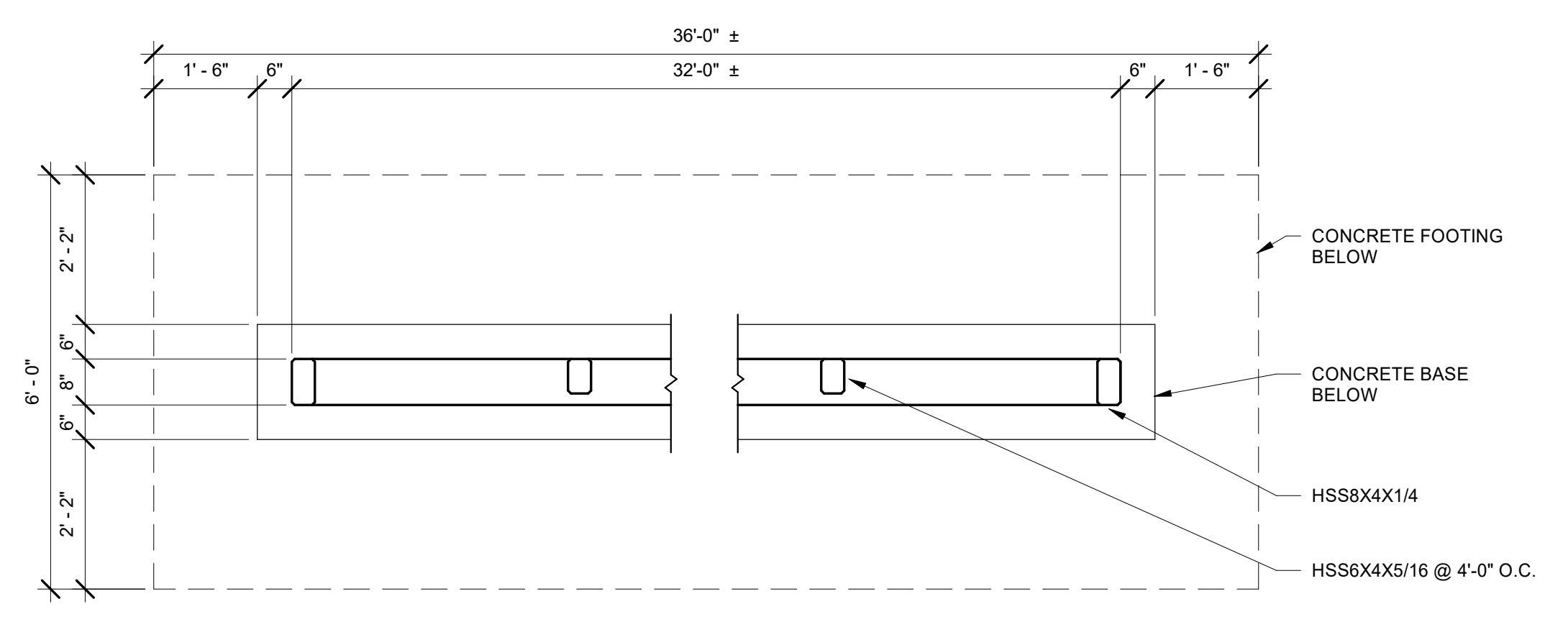
2 MONUMENT SIGN PLAN
 A5.10 1/2" = 1'-0"



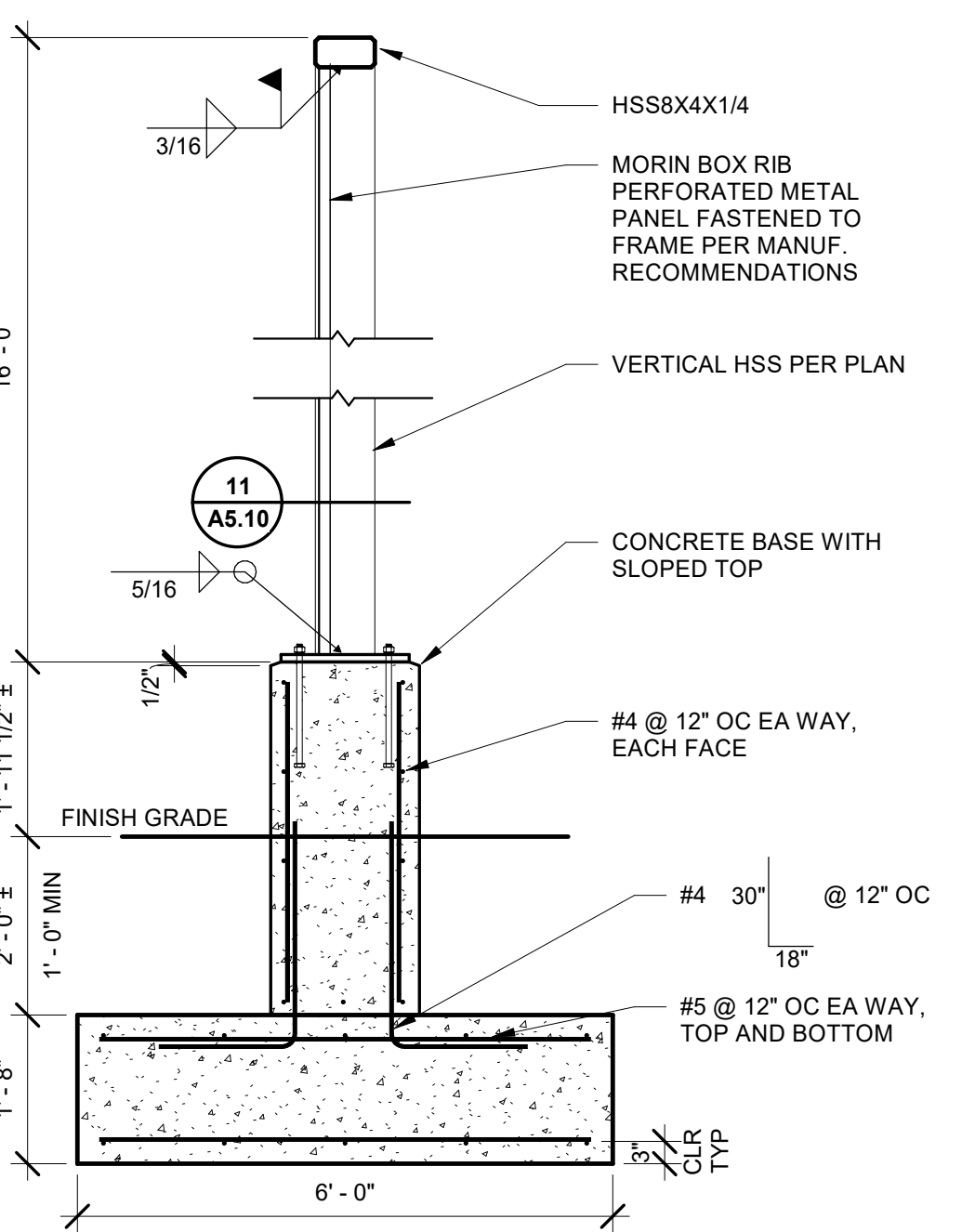
3 MONUMENT SIGN SECTION
 A5.10 1/2" = 1'-0"



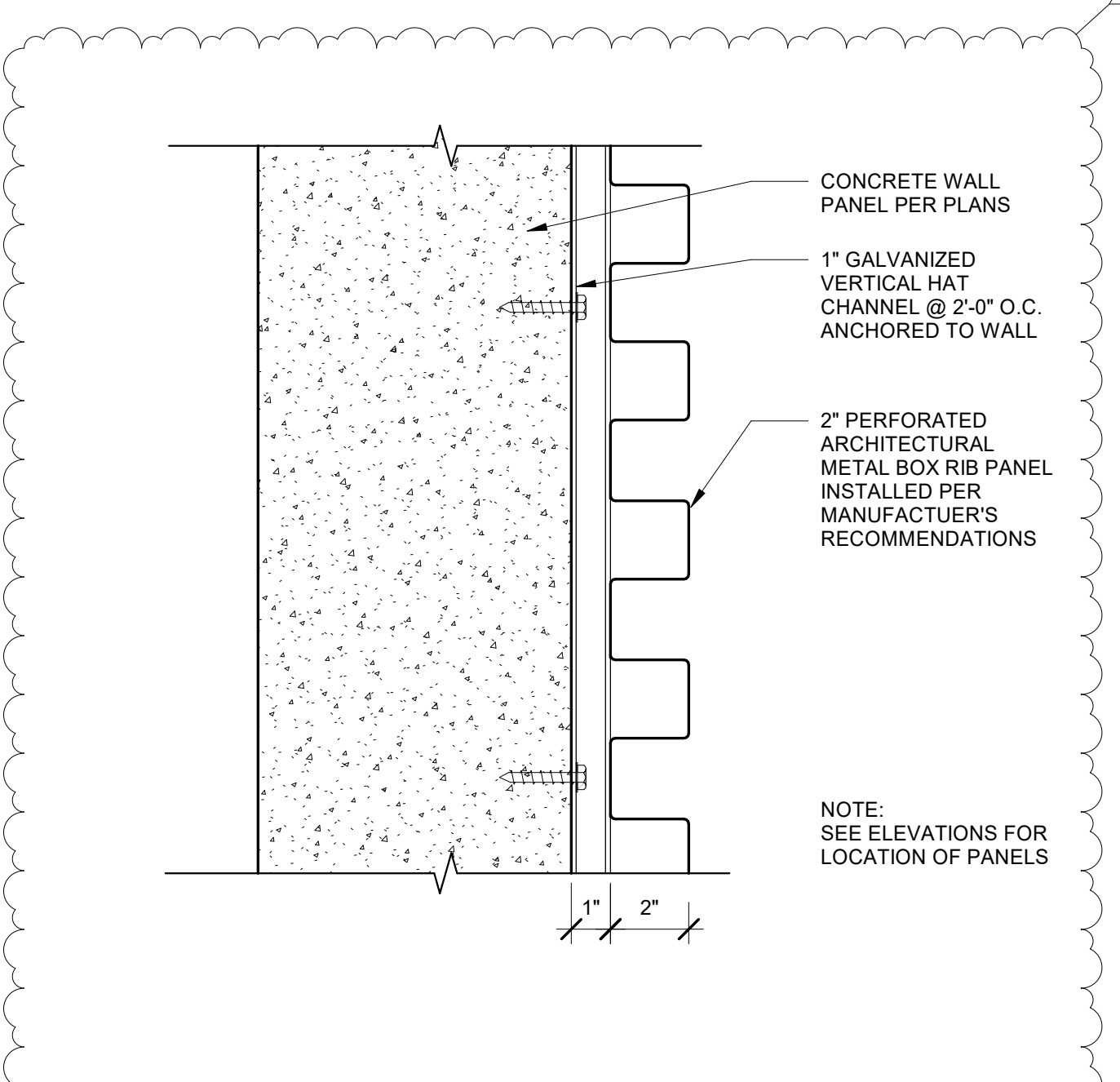
4 SCREENING WALL ELEVATION
 A5.10 1/4" = 1'-0"



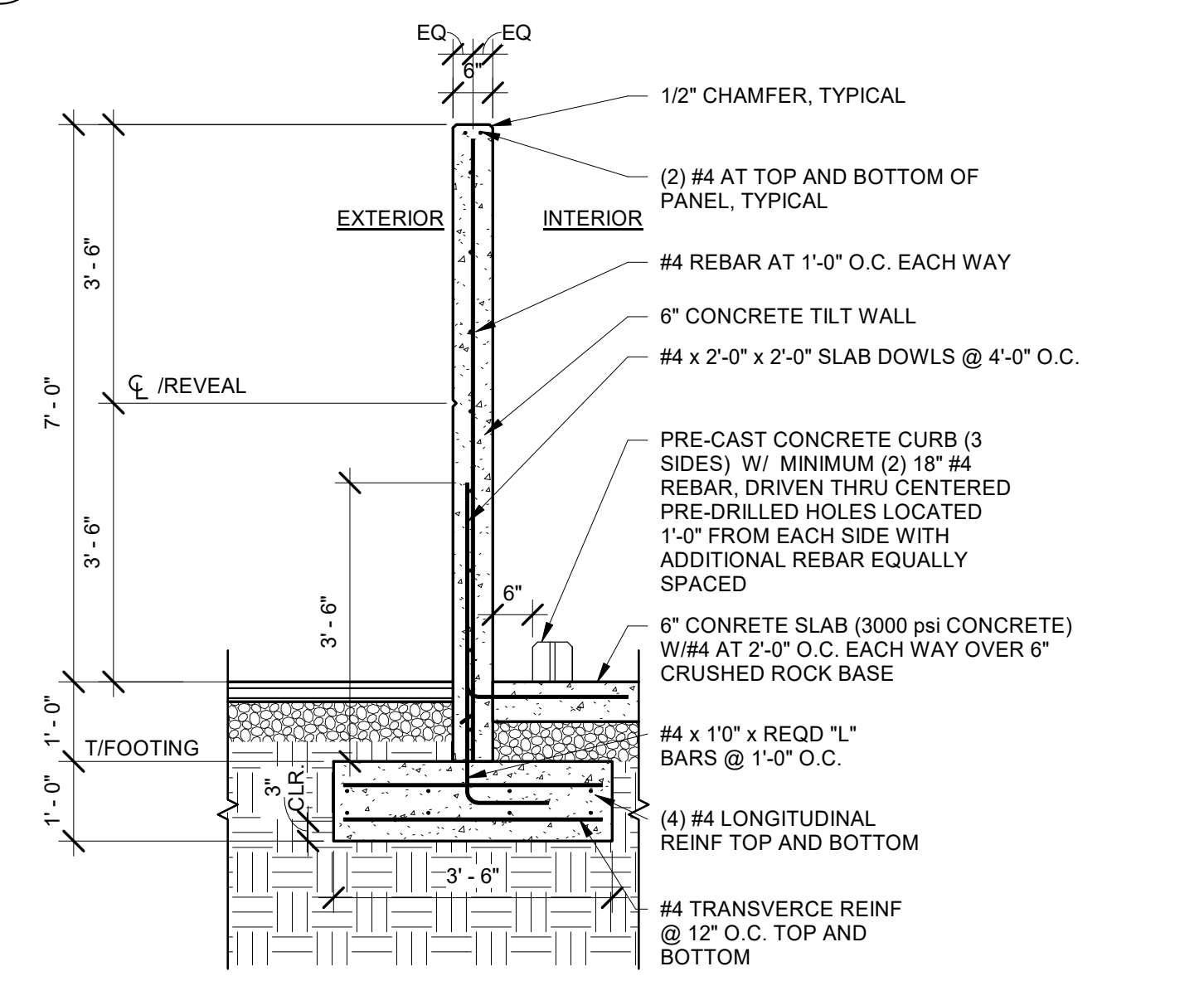
5 SCREENING WALL PLAN
 A5.10 1/2" = 1'-0"



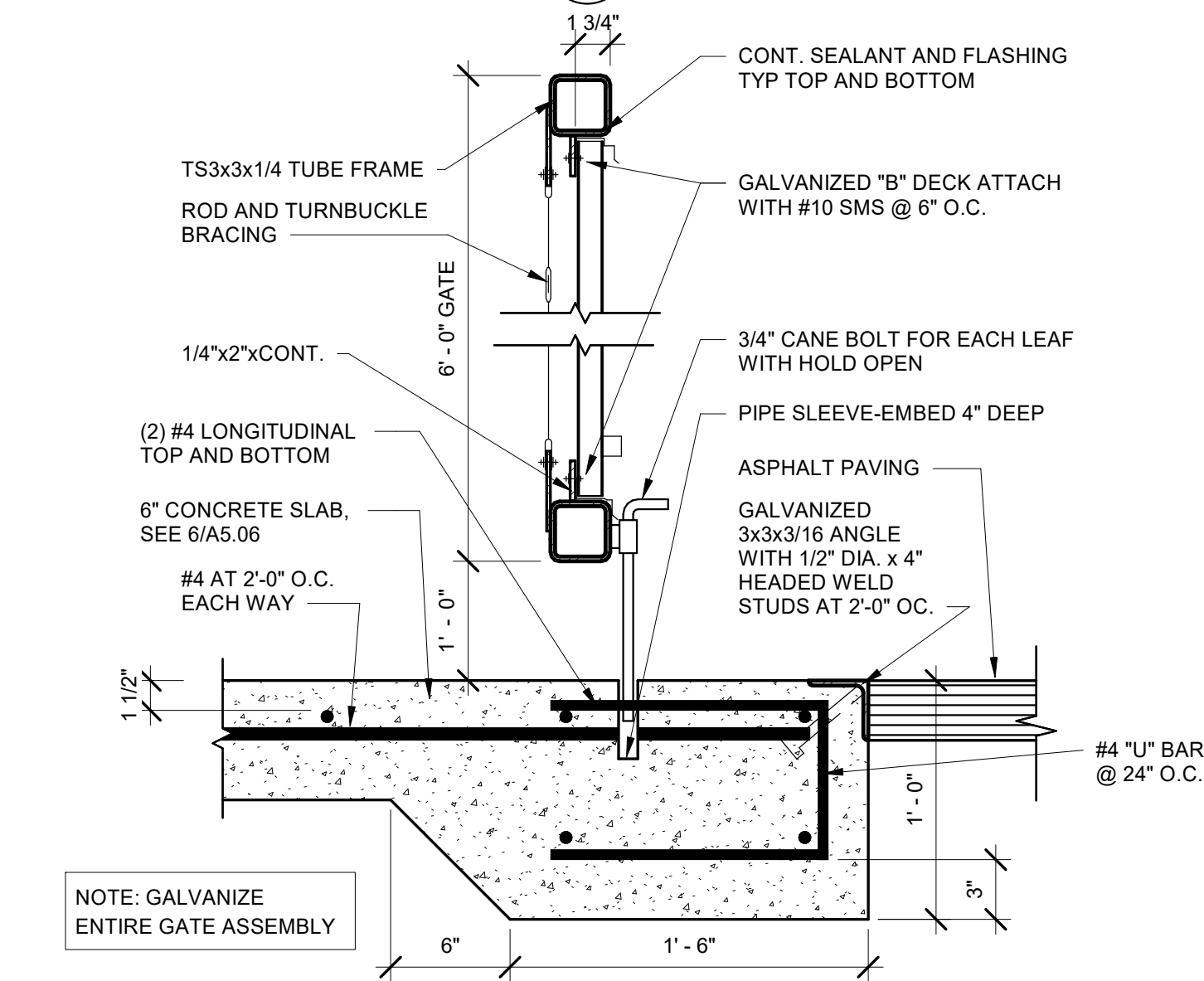
6 SCREENING WALL SECTION
 A5.10 1/2" = 1'-0"



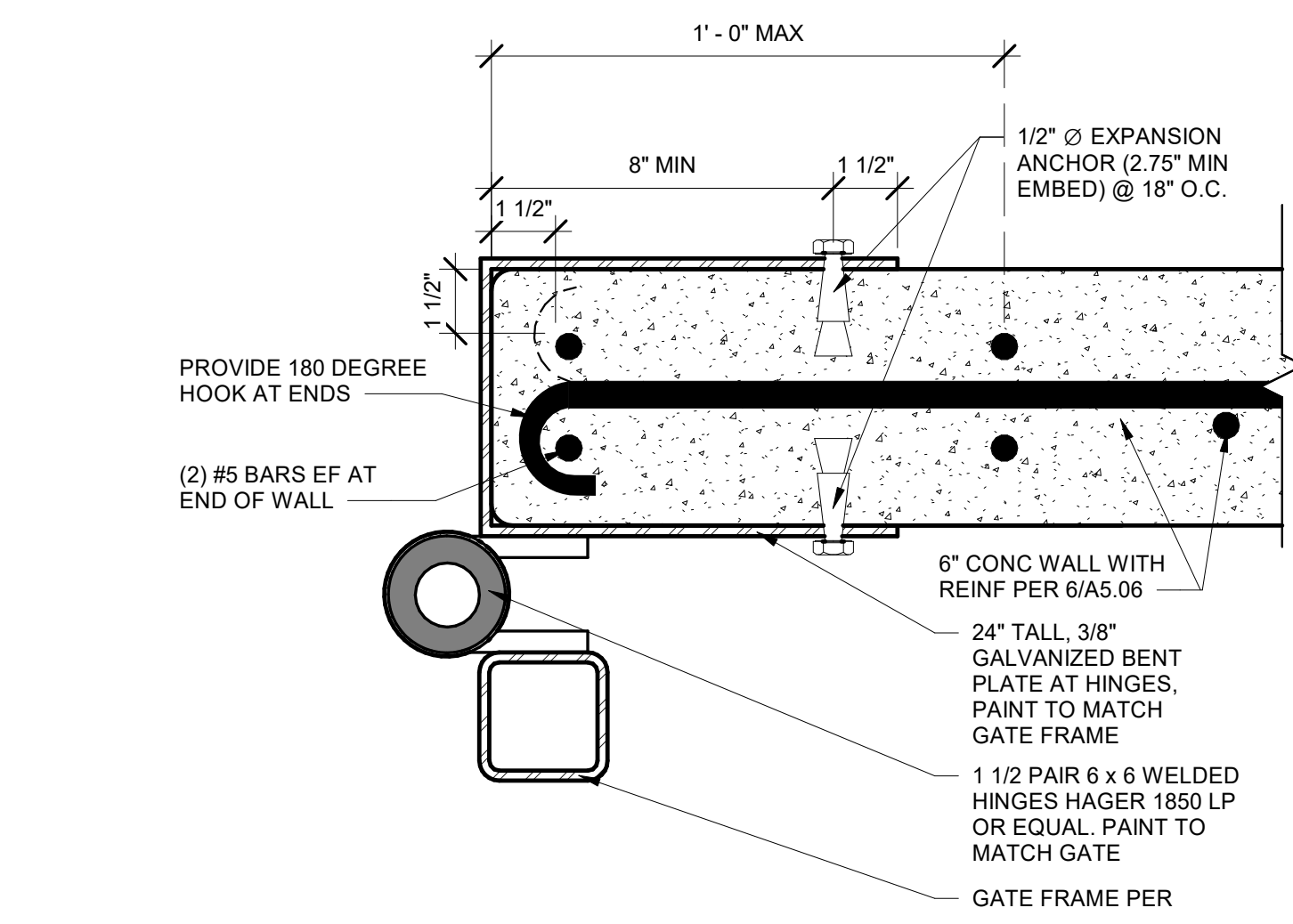
7 WALL PANEL APPLIQUE
 A5.10 3" = 1'-0"



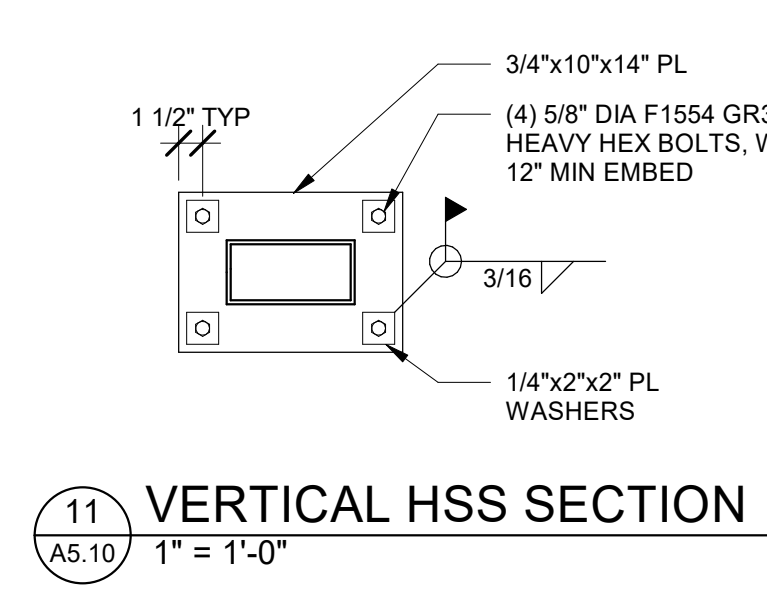
8 TRASH ENCLOSURE WALL
 A5.10 1/2" = 1'-0"



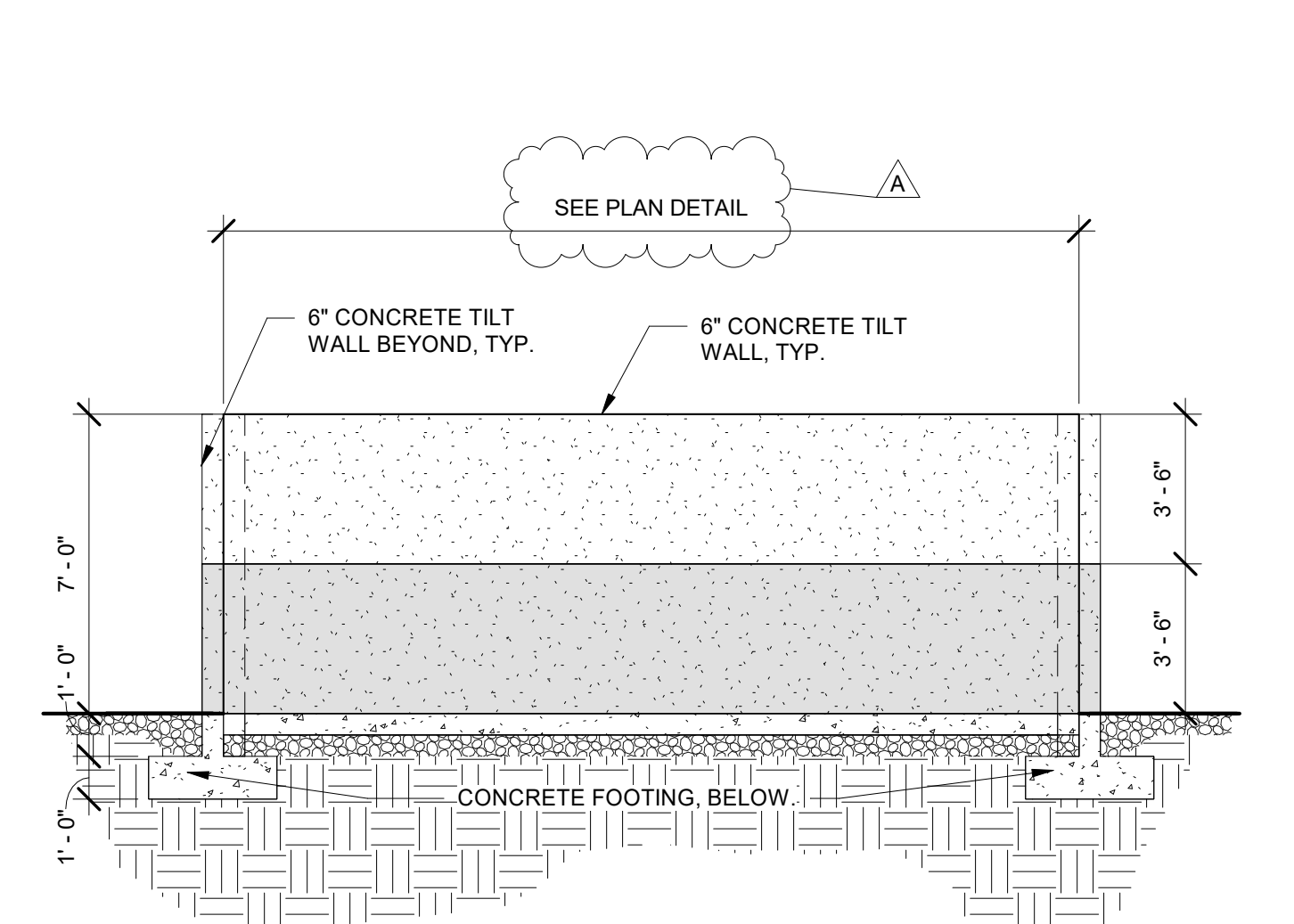
9 GATE SECTION
 A5.10 1 1/2" = 1'-0"



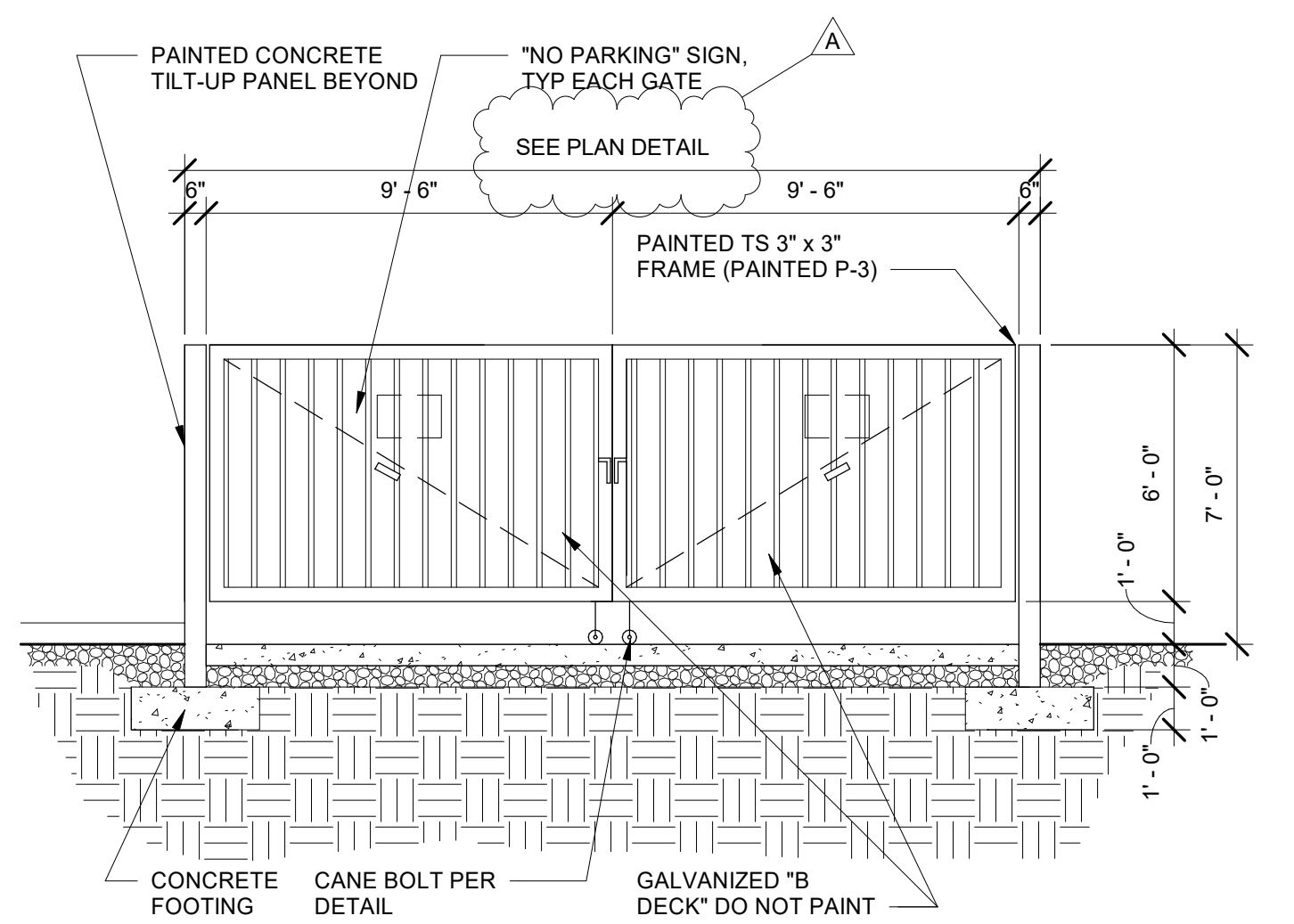
10 HINGE CONNECTION
 A5.10 3" = 1'-0"



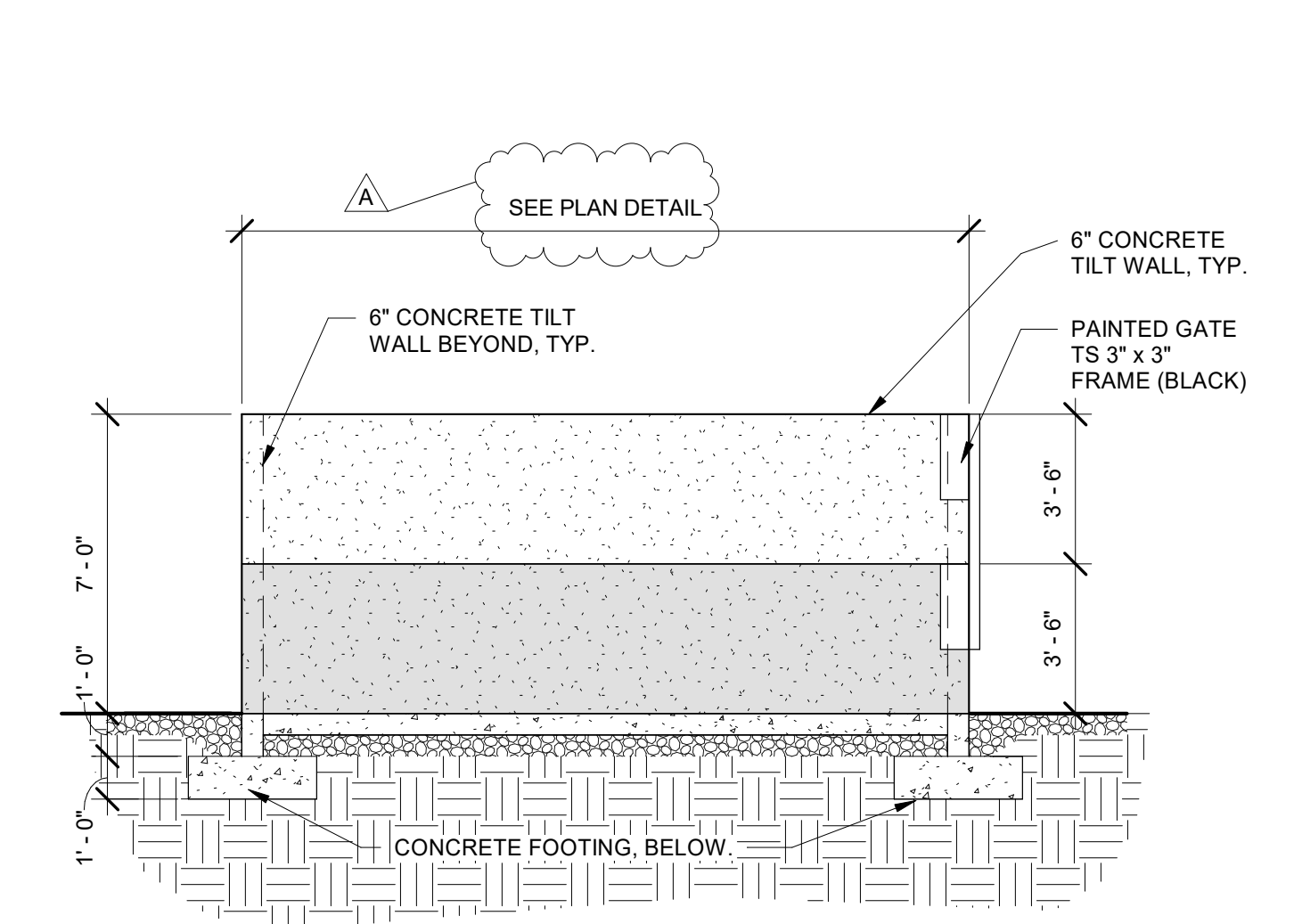
11 VERTICAL HSS SECTION
 A5.10 1" = 1'-0"



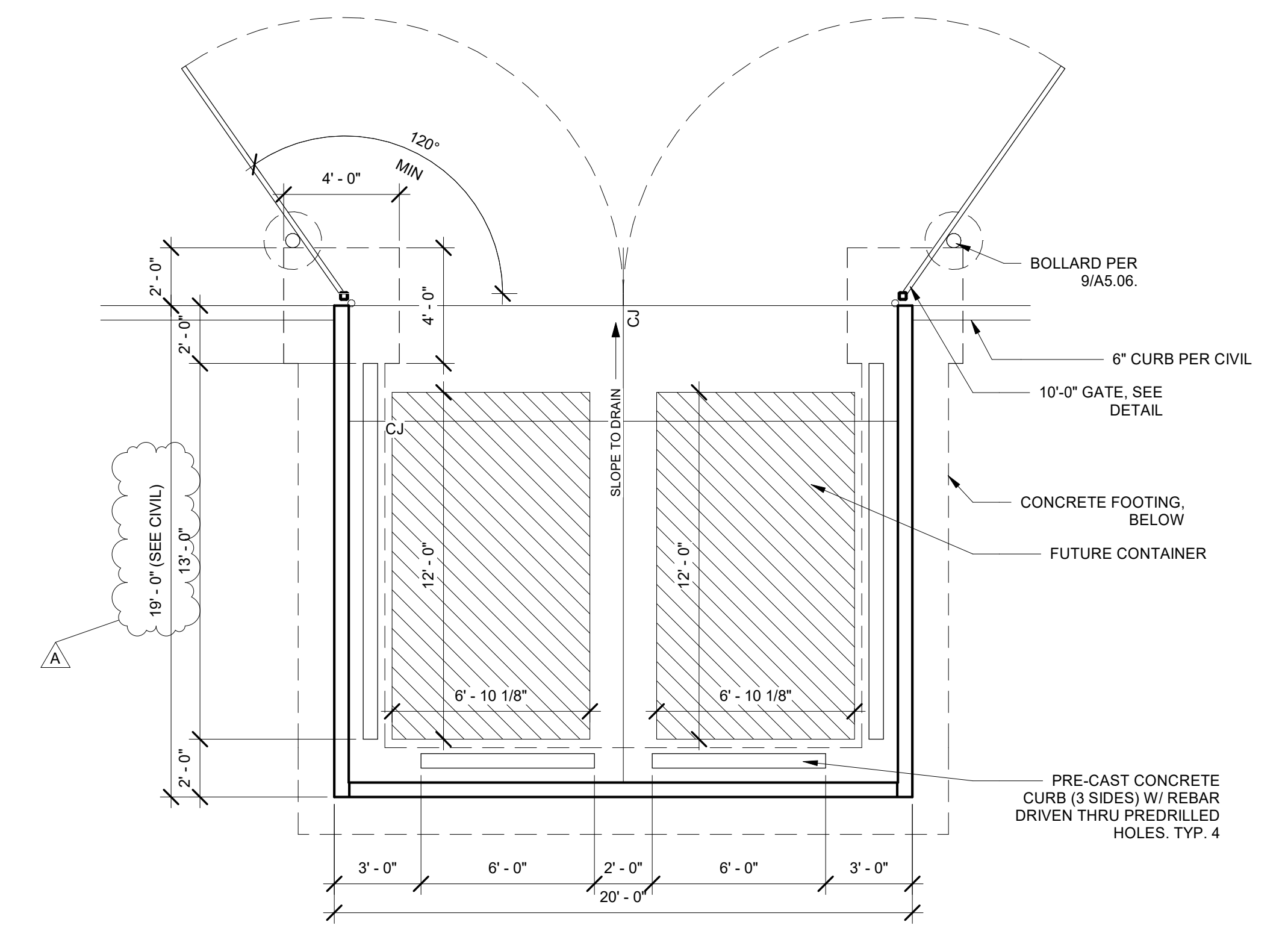
12 TRASH ENCLOSURE REAR ELEVATION
 A5.10 1/4" = 1'-0"



13 TRASH ENCLOSURE FRONT ELEVATION
 A5.10 1/4" = 1'-0"

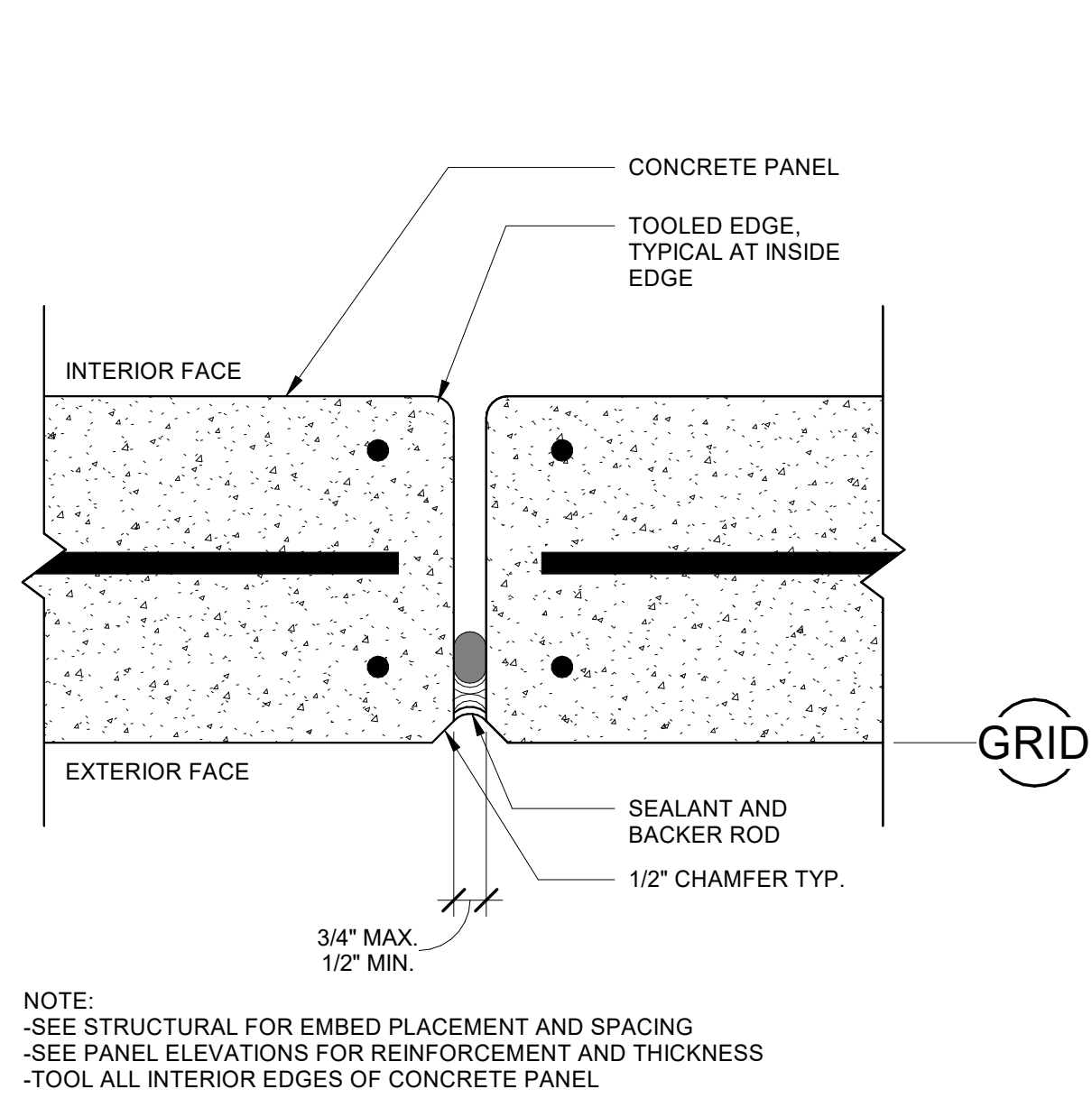


14 TRASH ENCLOSURE SIDE ELEVATION
 A5.10 1/4" = 1'-0"

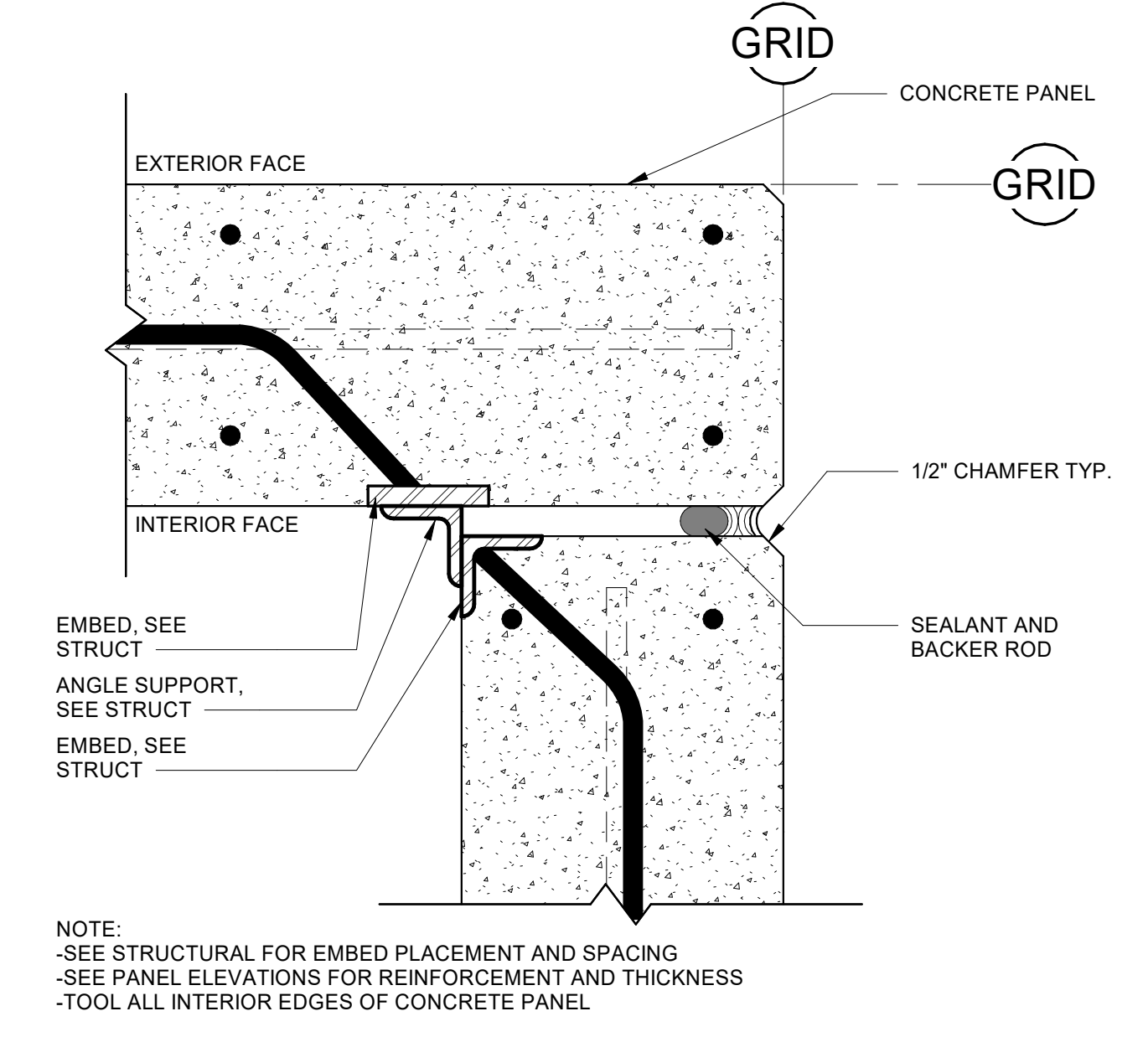


15 TRASH ENCLOSURE PLAN
 A5.10 1/4" = 1'-0"

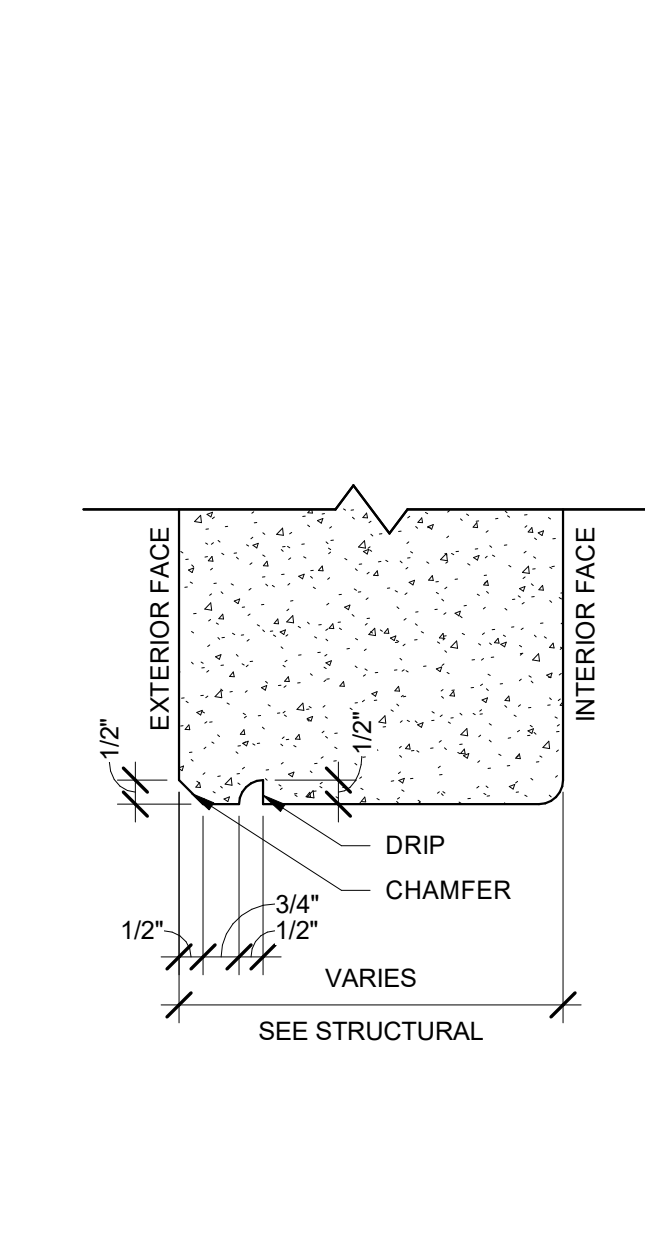
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Delta	Issued As	Issue Date
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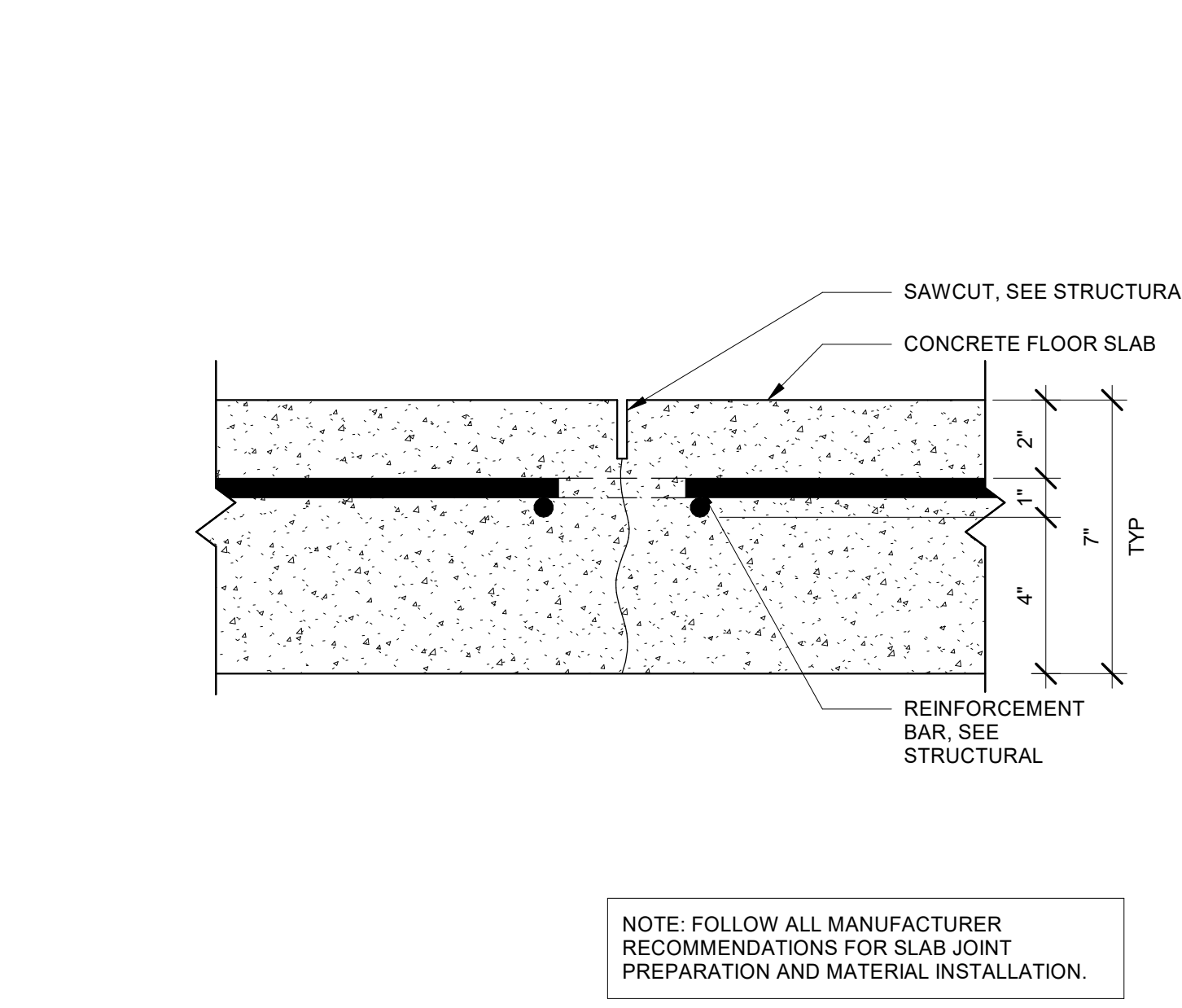
1 END TO END CONNECTION
A5.11 3\"/>



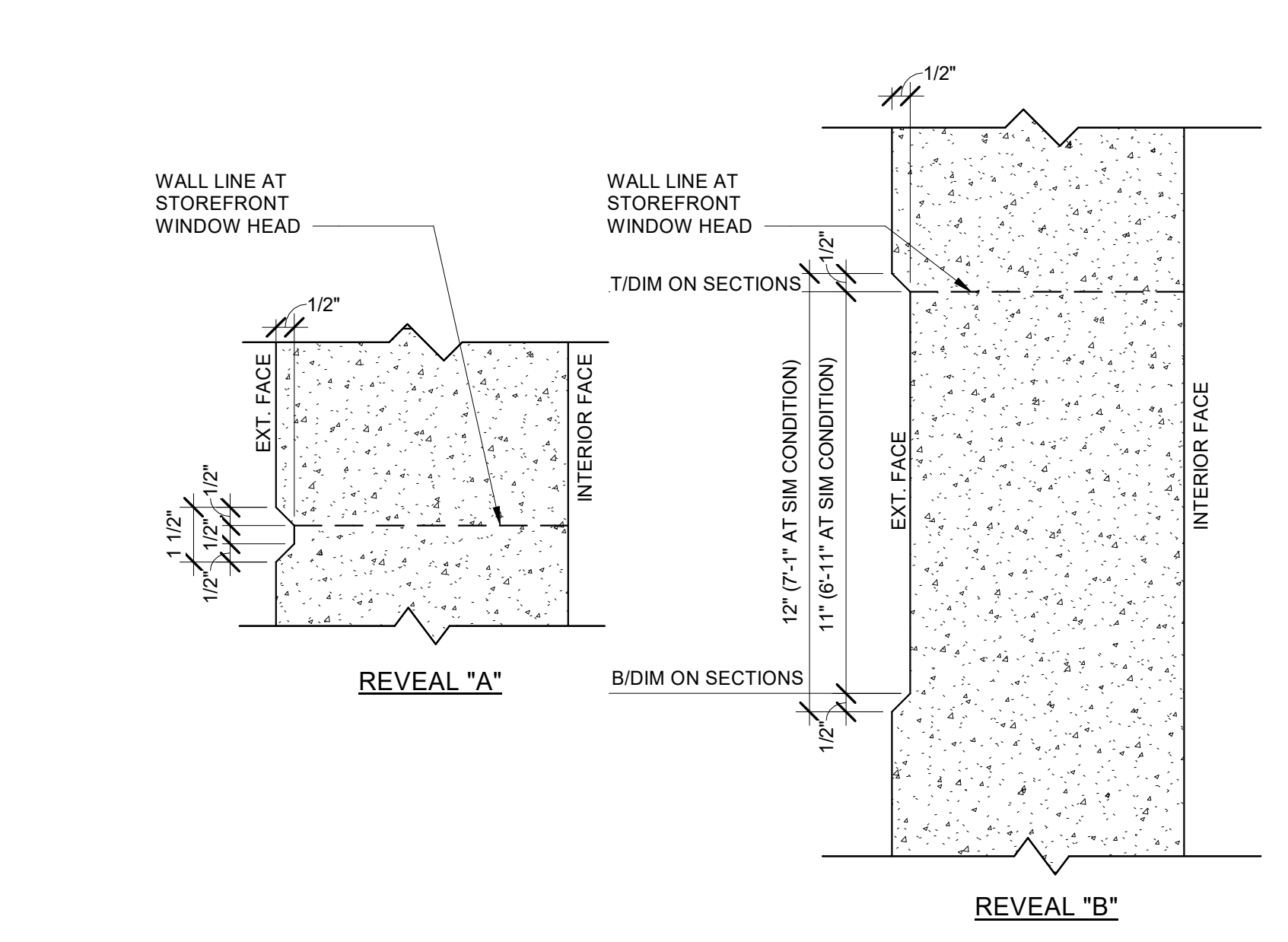
2 CORNER CONNECTION
A5.11 3\"/>



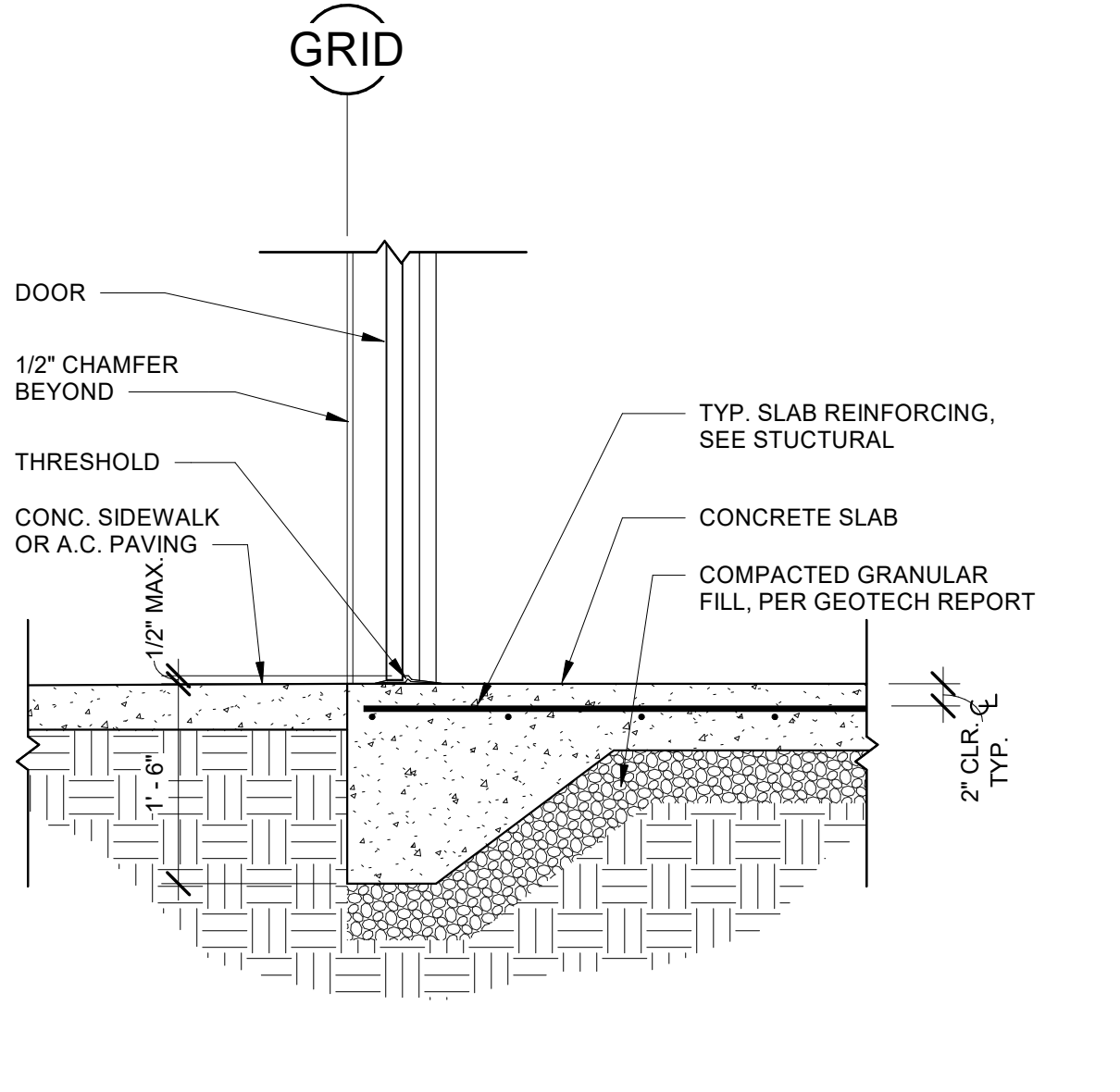
3 DRIP EDGE
A5.11 3\"/>



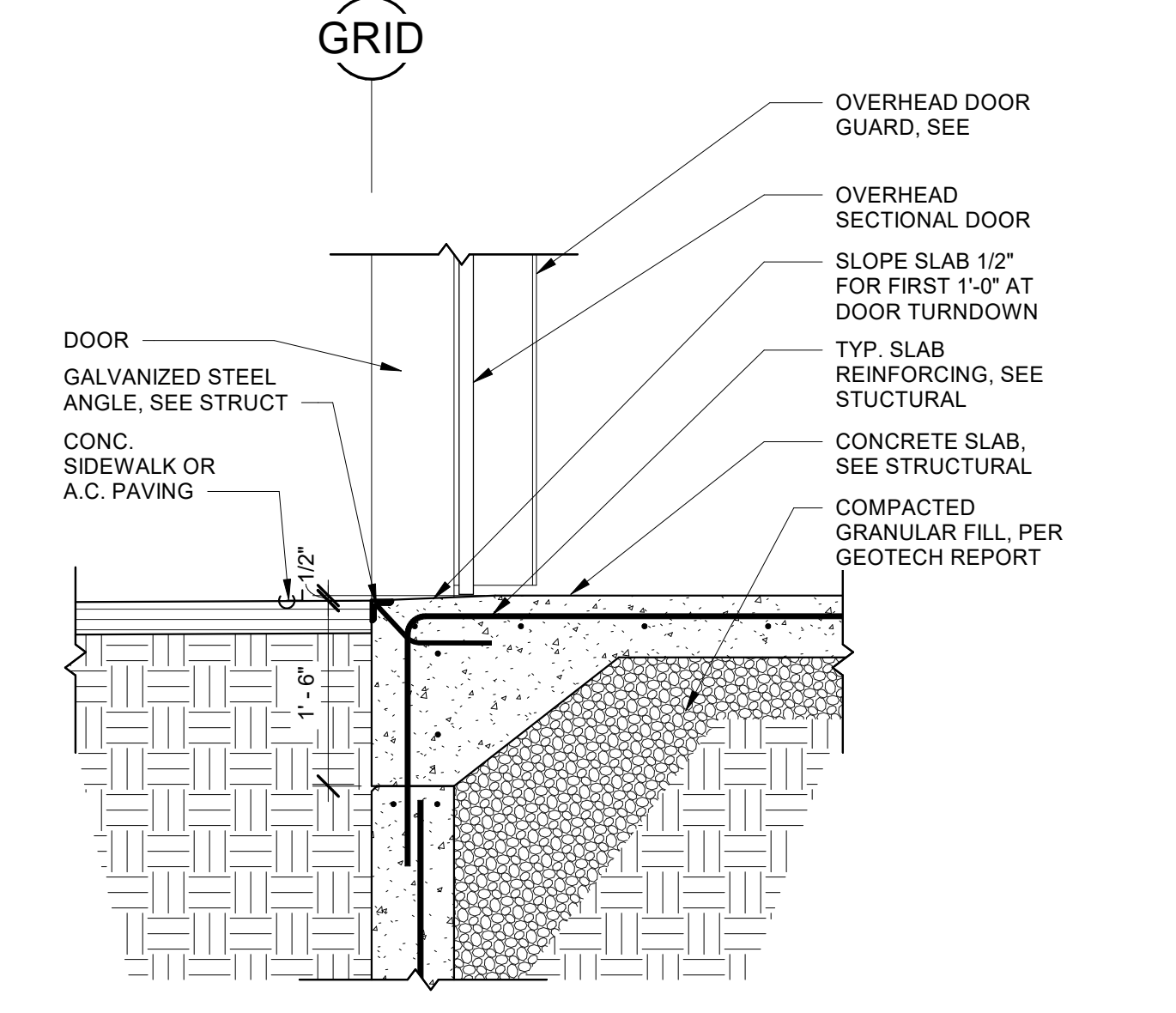
4 FLOOR JOINT
A5.11 3\"/>



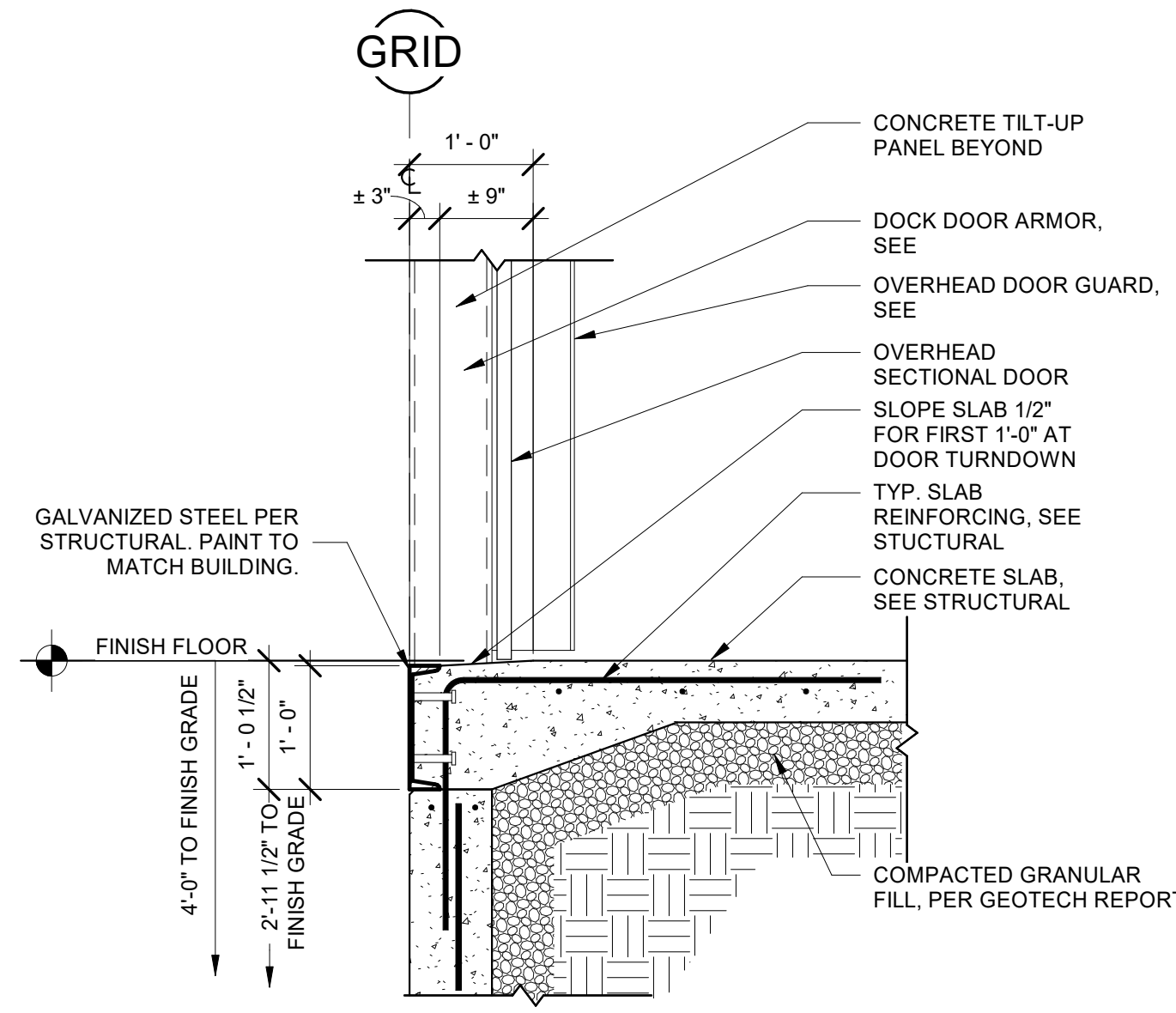
5 CONCRETE REVEALS
A5.11 3\"/>



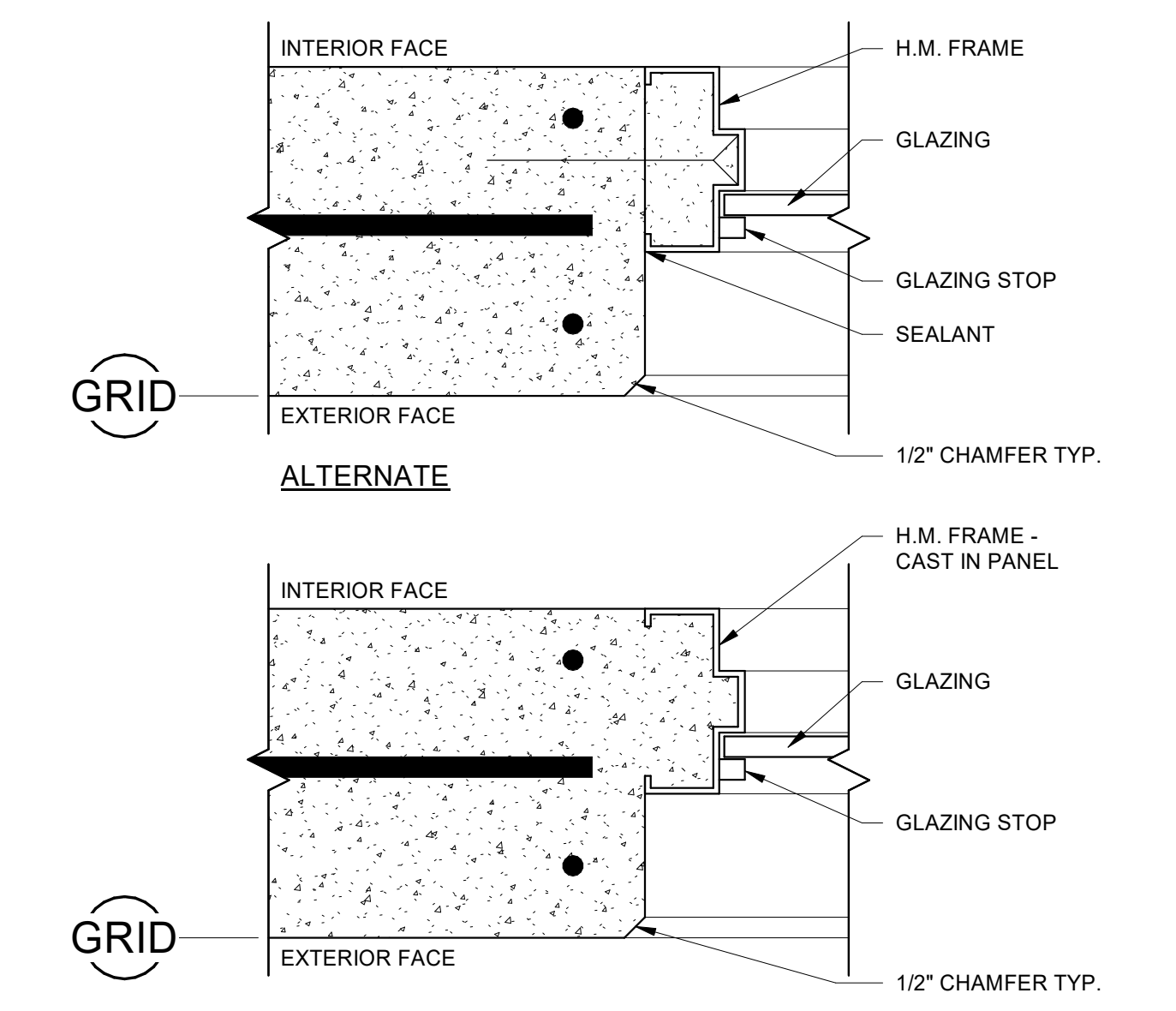
6 SLAB AT PERSONNEL DOOR
A5.11 3/4\"/>



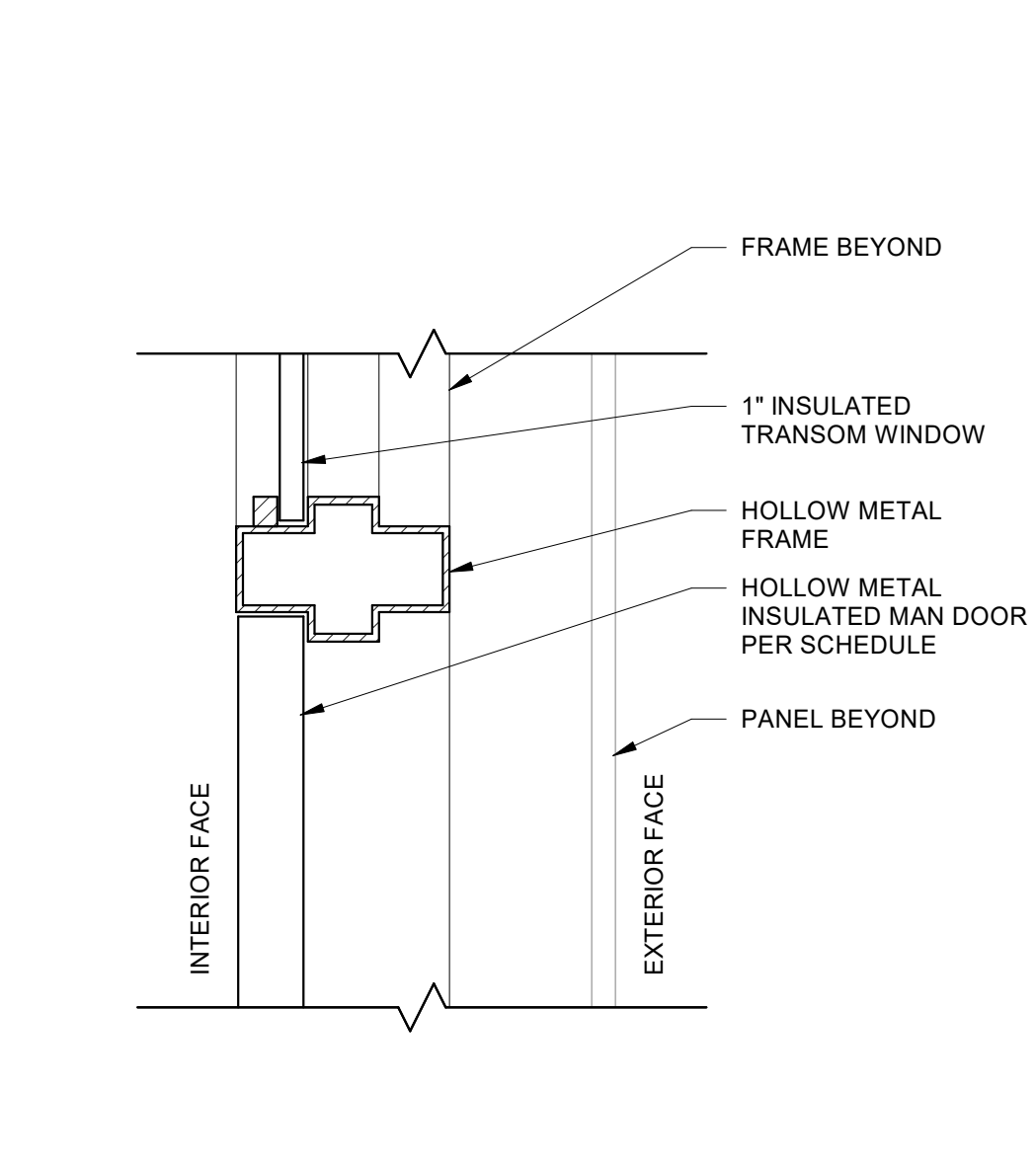
7 SLAB AT DRIVE-IN DOOR
A5.11 3/4\"/>



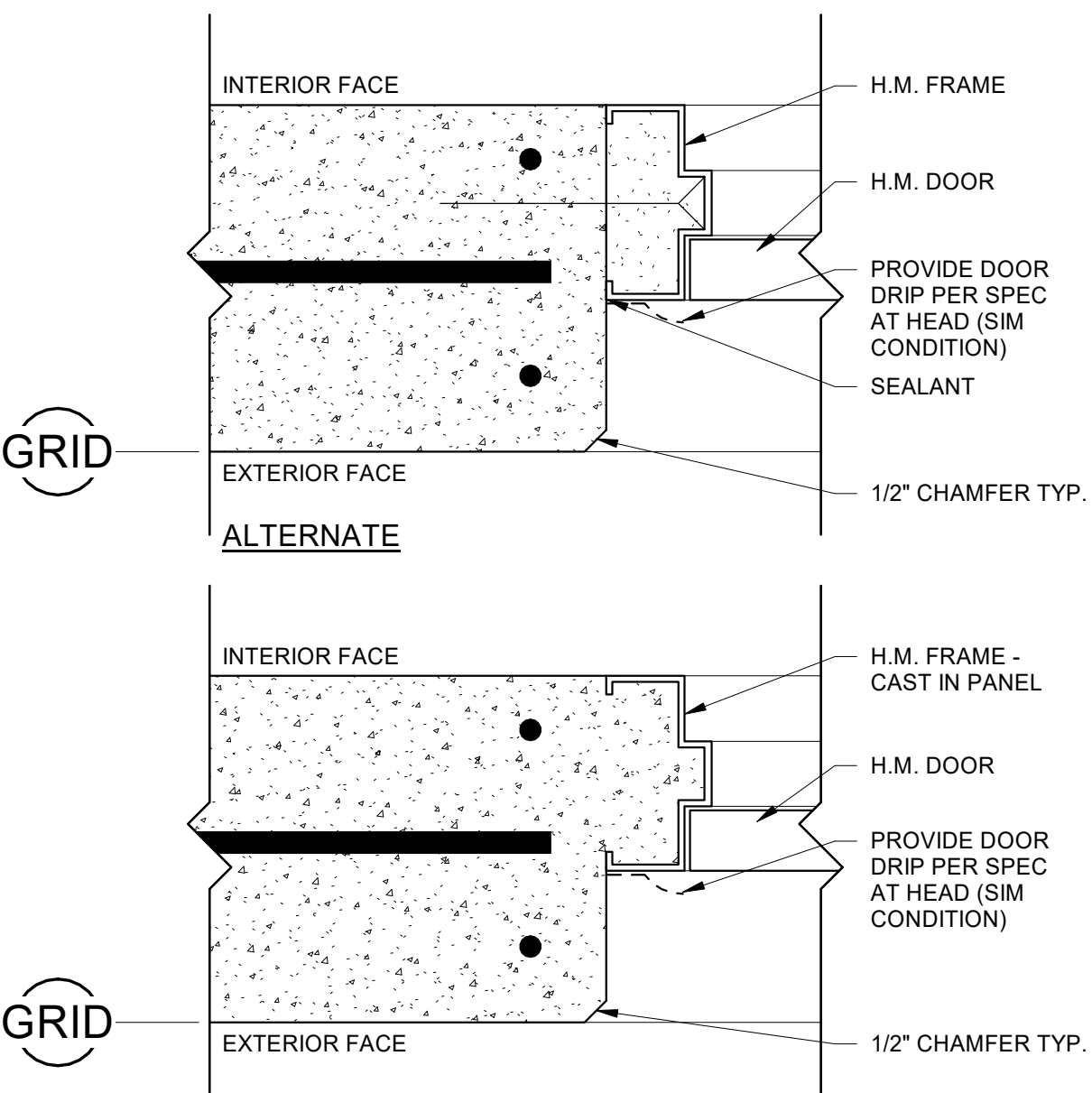
8 TURN-DOWN SLAB EDGE AT DOCK DOOR
A5.11 3/4\"/>



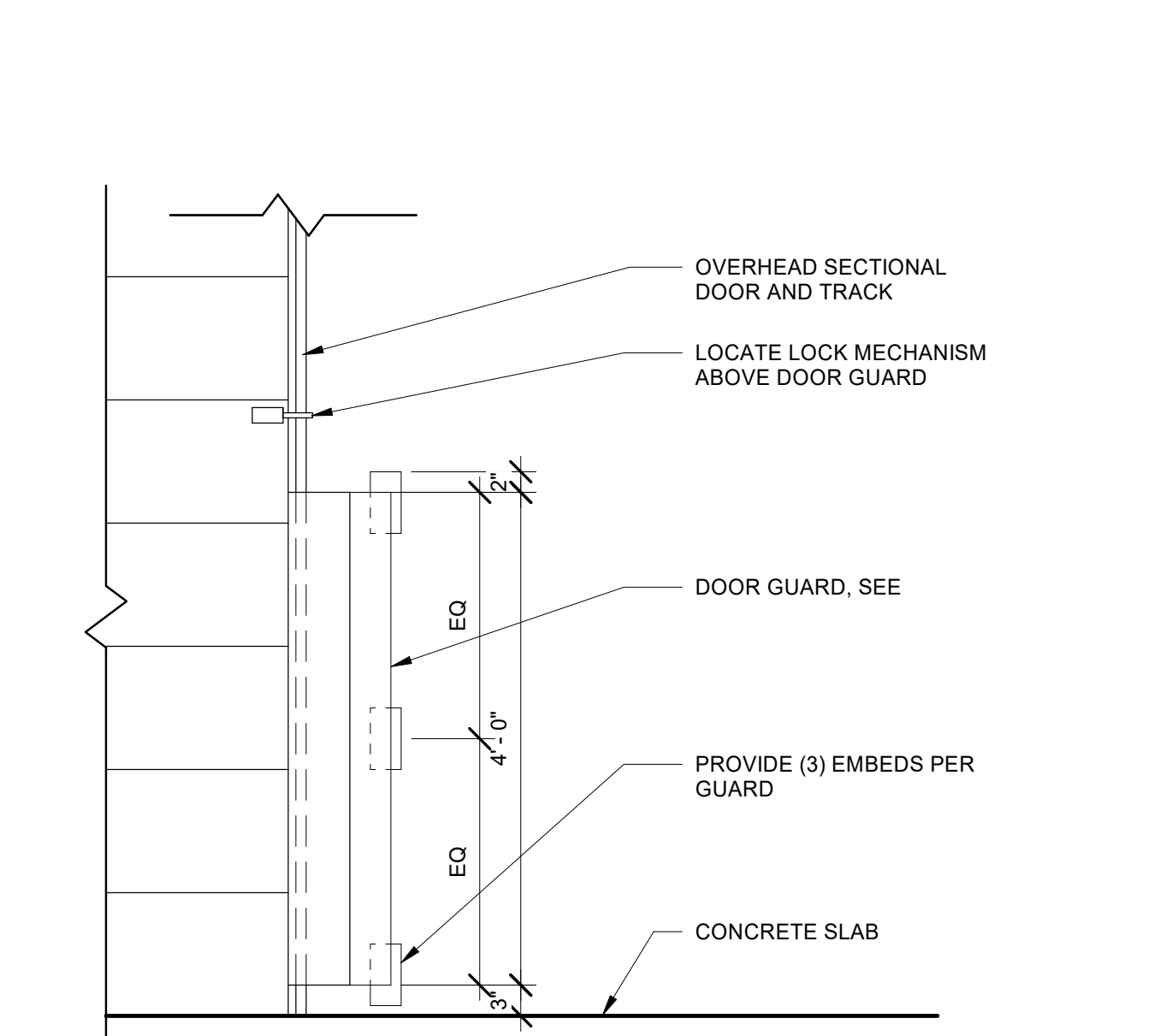
9 EXTERIOR TRANSOM WINDOW
A5.11 3\"/>



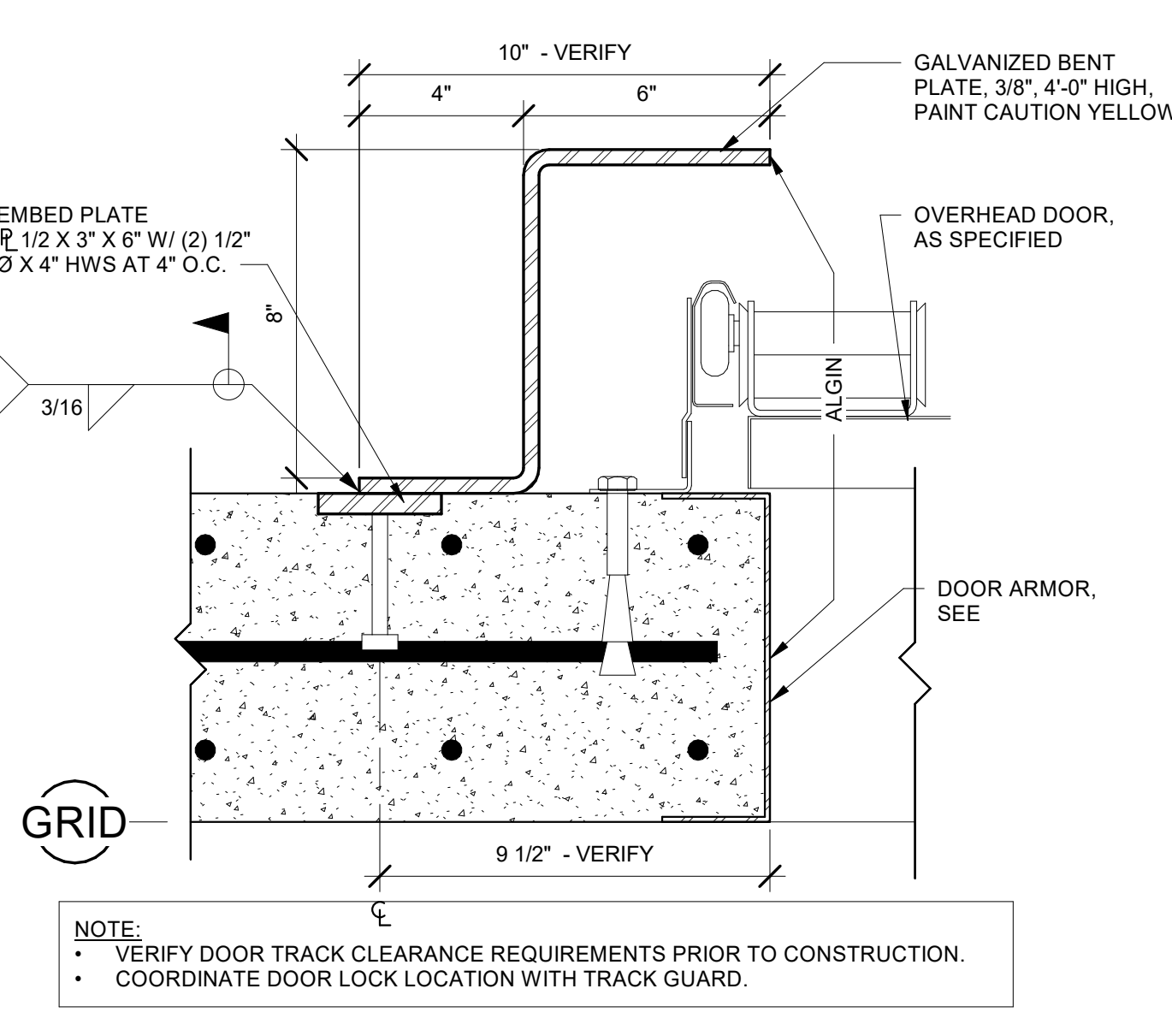
10 EXT. TRANSOM WINDOW SECTION
A5.11 3\"/>



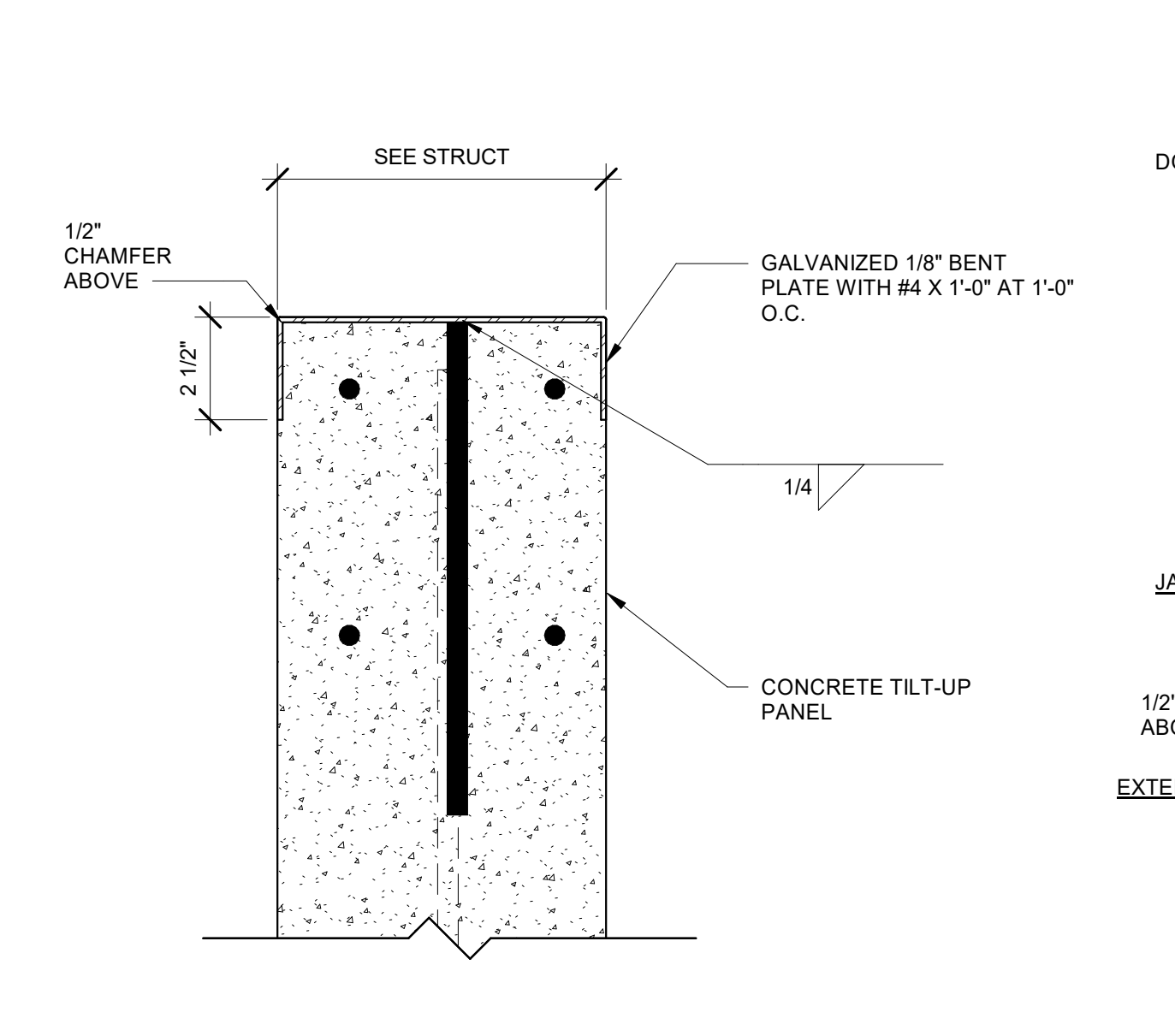
11 EXT. DOOR JAMB/HEAD
A5.11 3\"/>



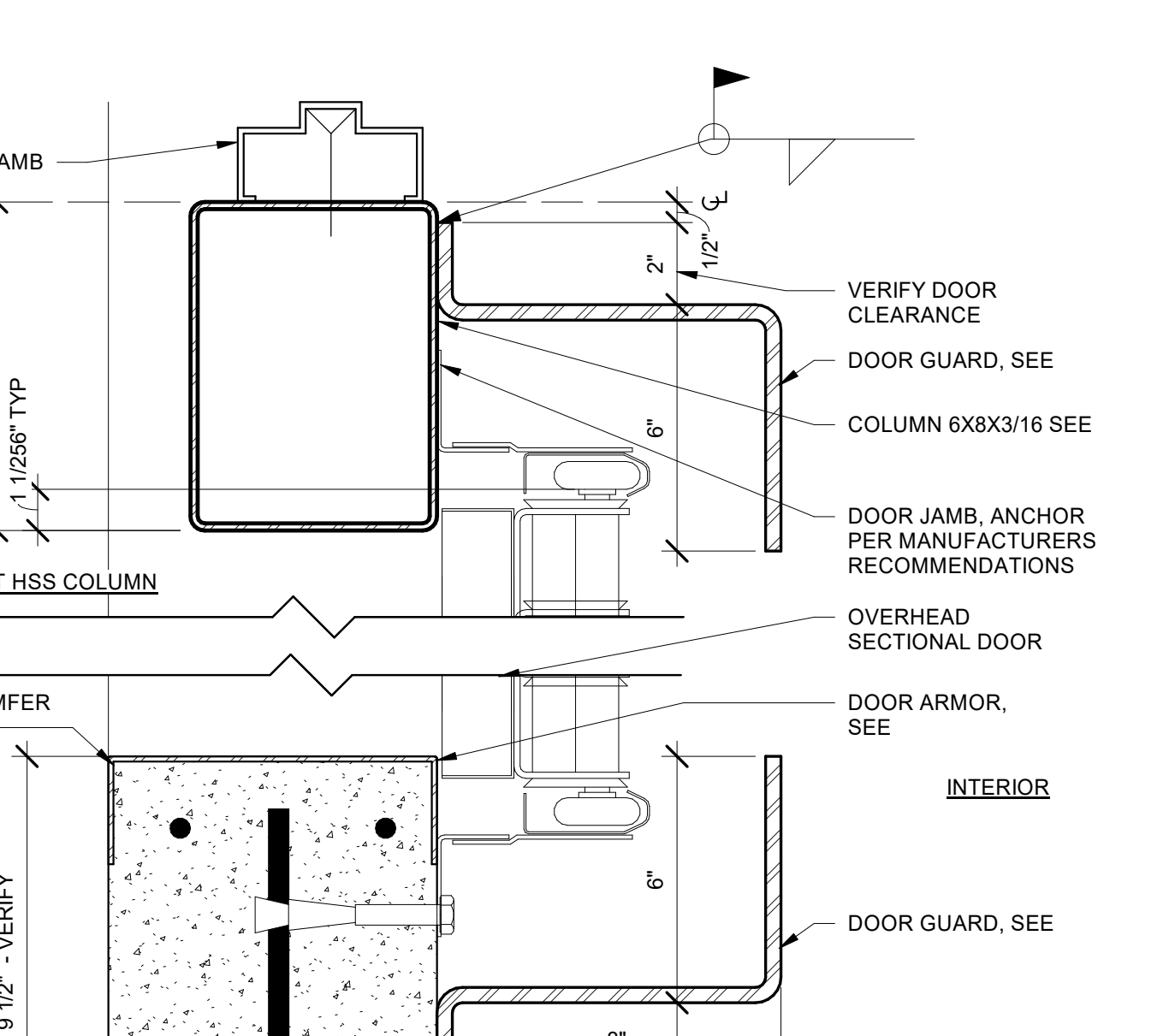
12 OVERHEAD DOOR GUARD ELEVATION
A5.11 3/4\"/>



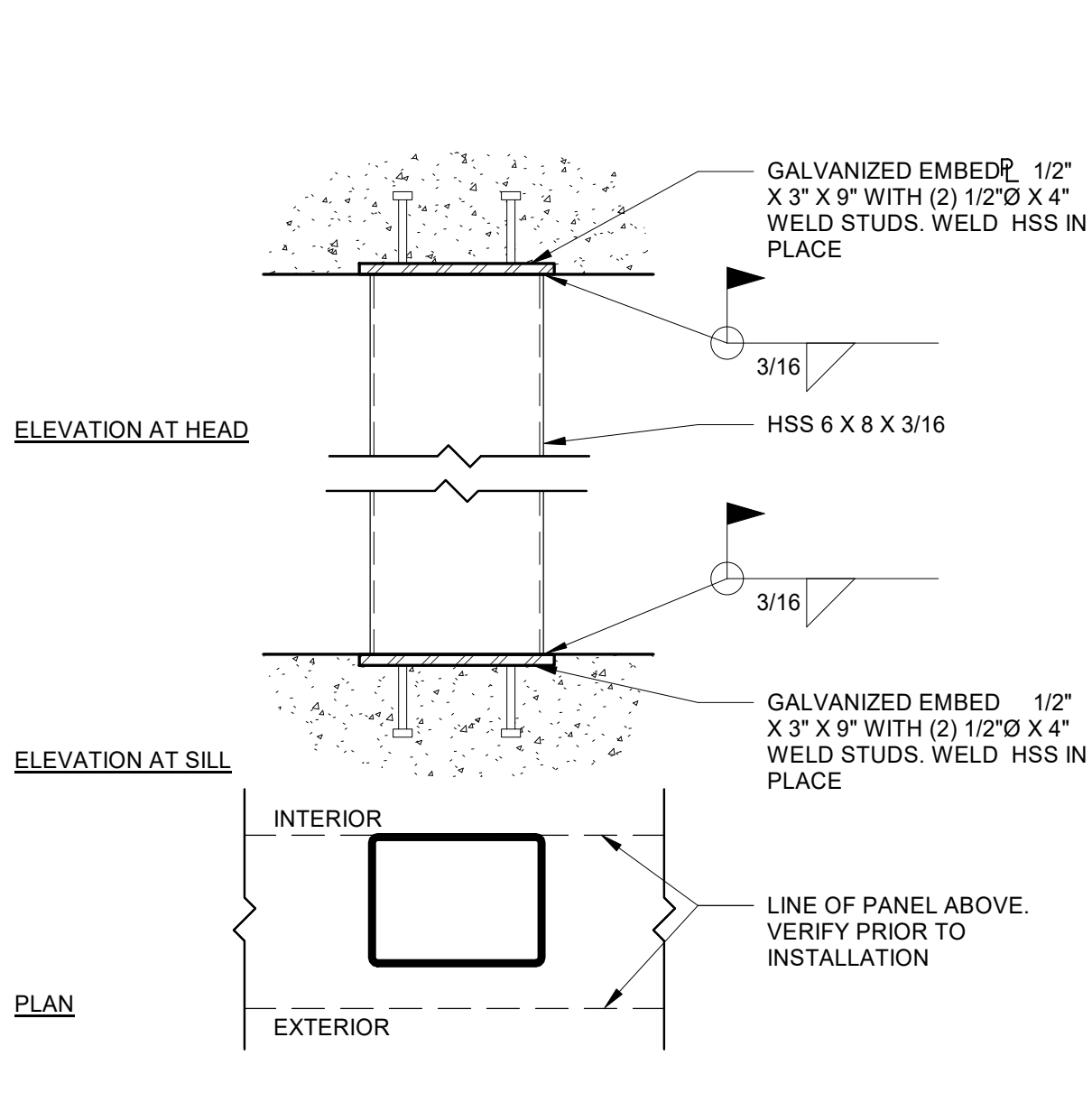
13 OVERHEAD DOOR GUARD
A5.11 3\"/>



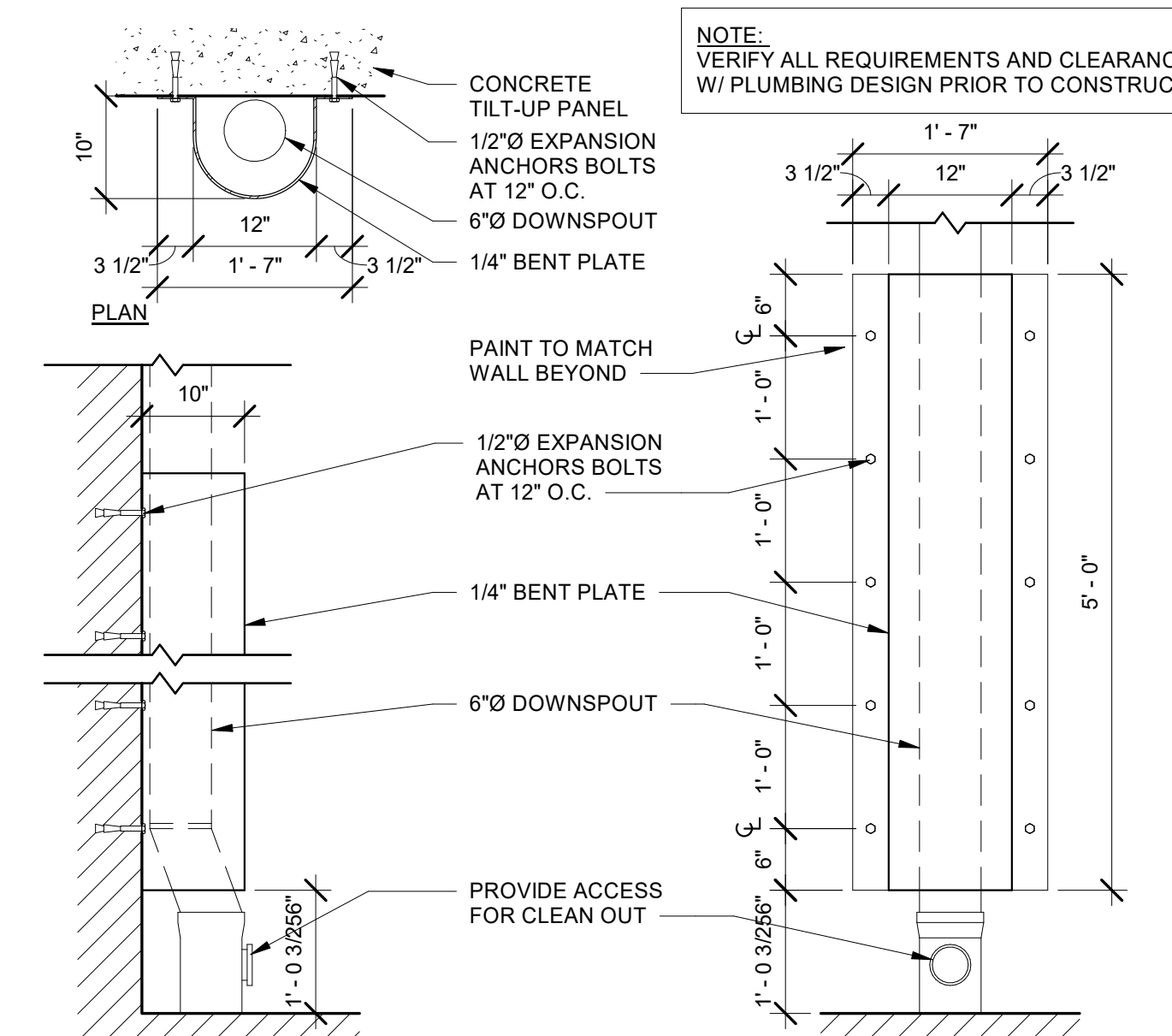
14 DOOR ARMOR
A5.11 3\"/>



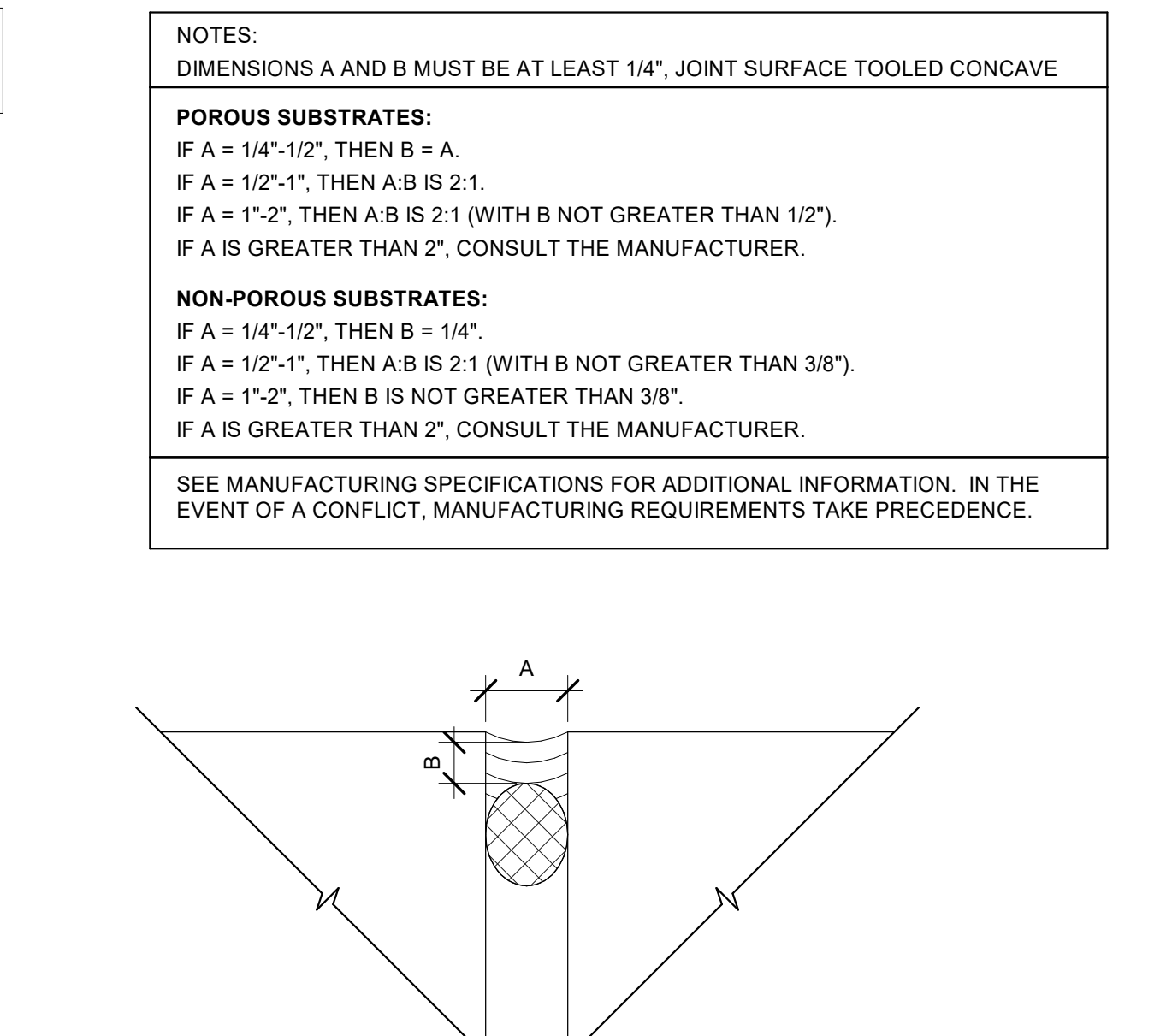
15 DRIVE-IN DOOR JAMB
A5.11 3\"/>



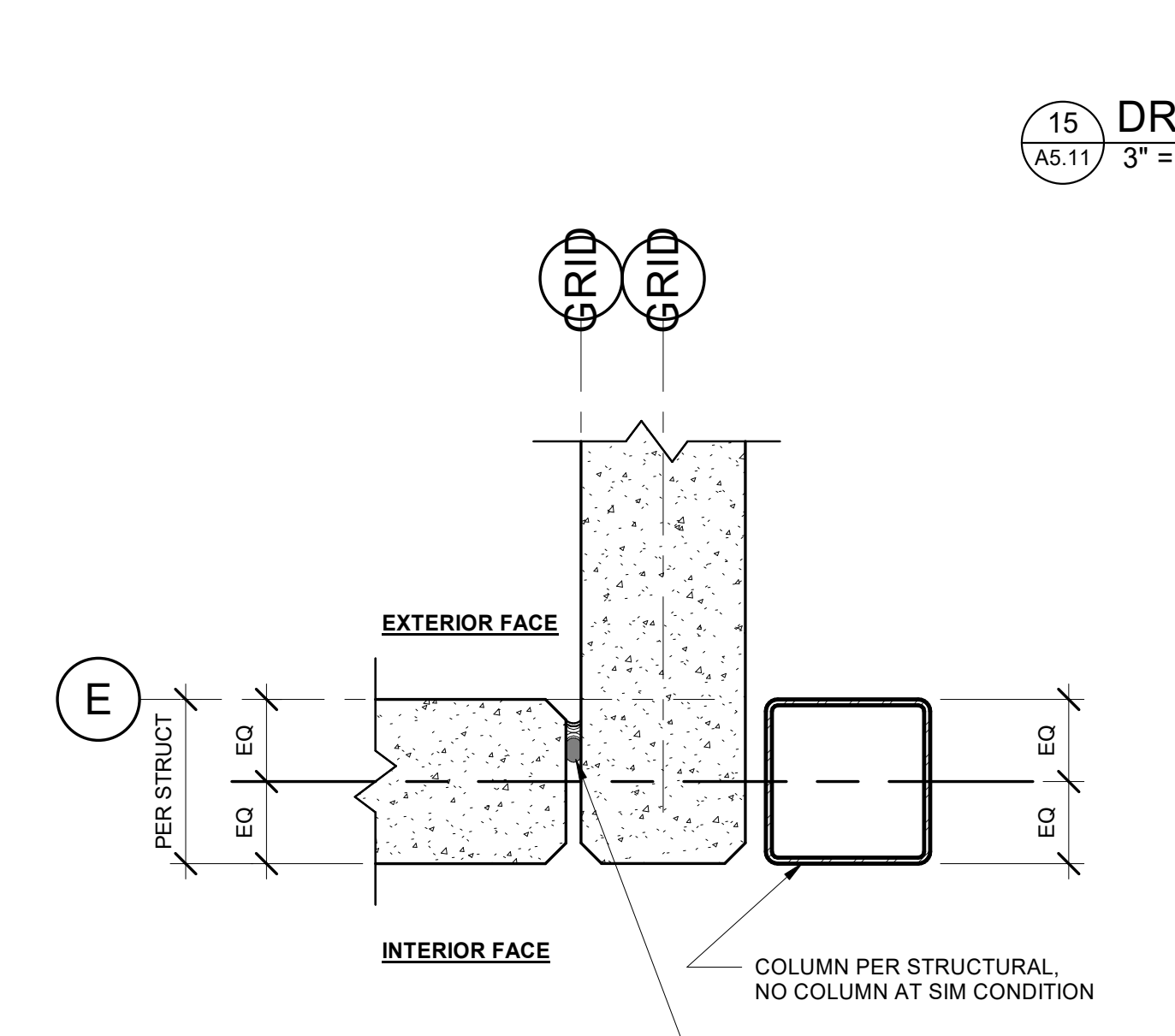
16 HSS CONNECTION AT SLAB/PANEL
A5.11 1 1/2\"/>



17 DOWNSPOUT GUARD
A5.11 3/4\"/>



18 TYPICAL SEALANT JOINT
A5.11 12\"/>



19 COLUMN AT INSIDE CORNER
A5.11 1 1/2\"/>

Project

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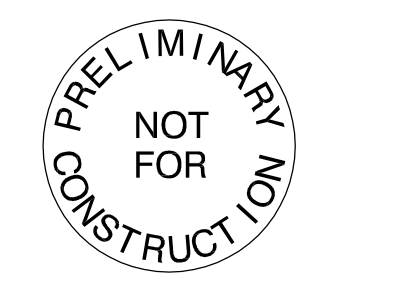
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A5.11

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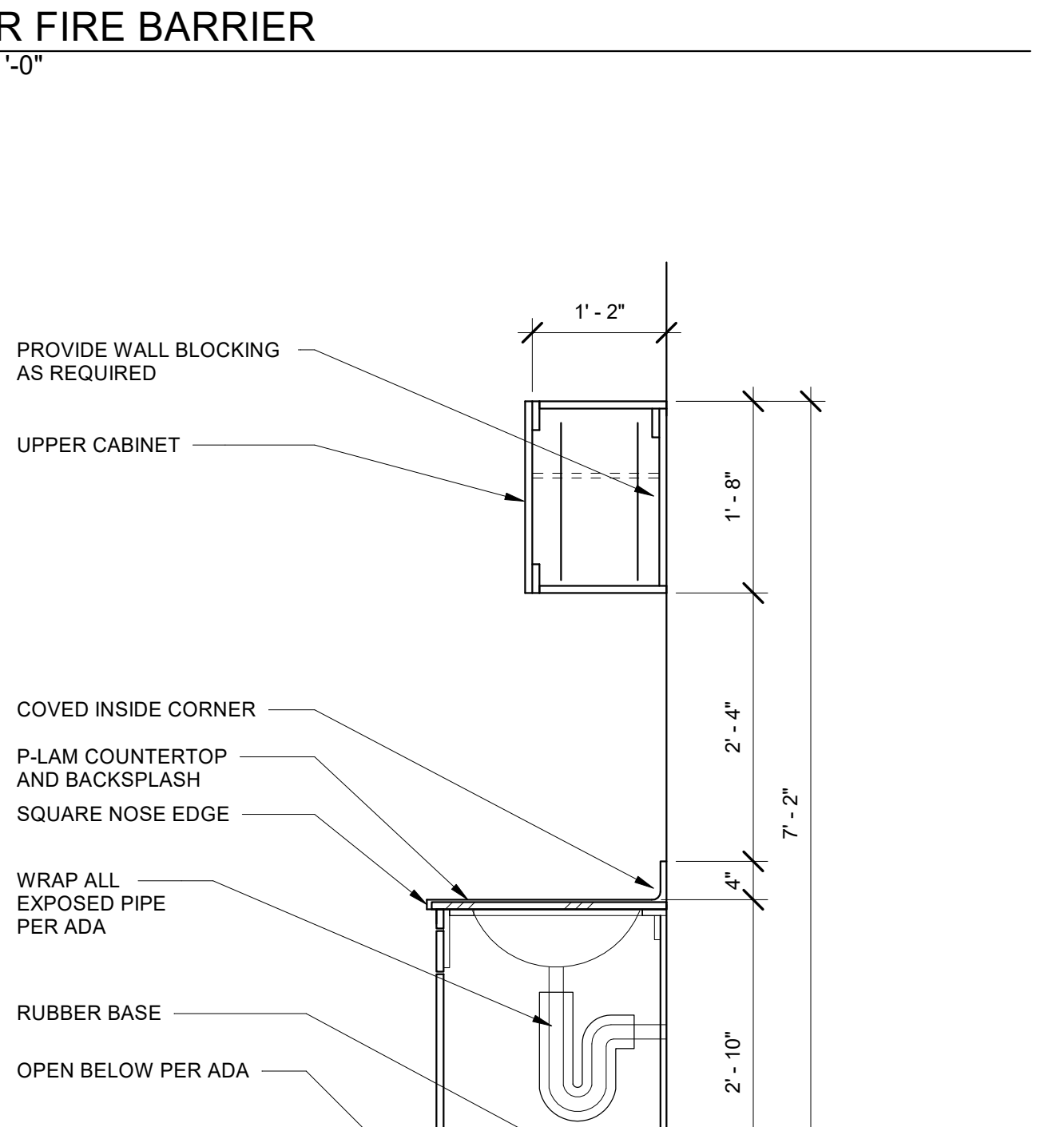
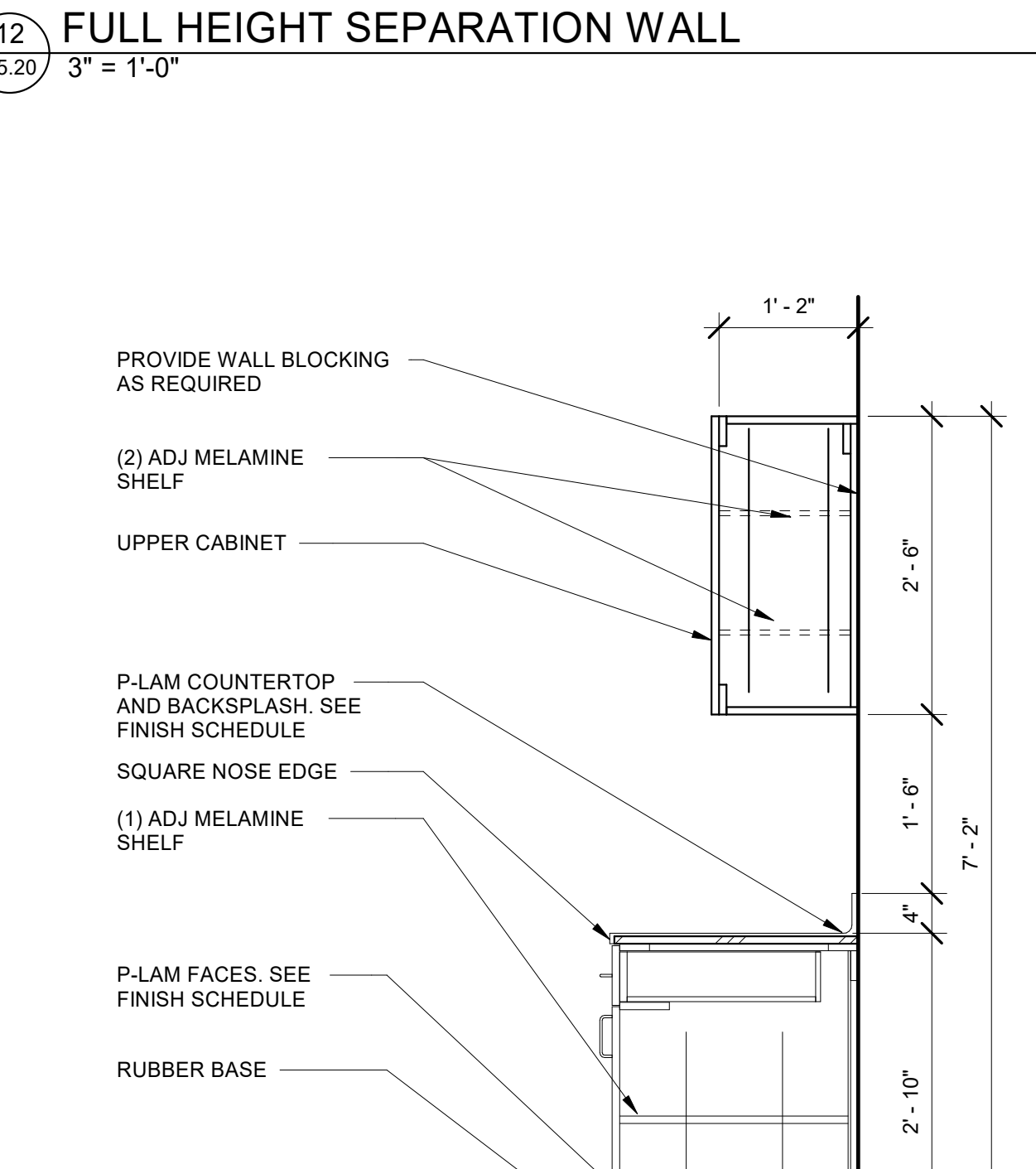
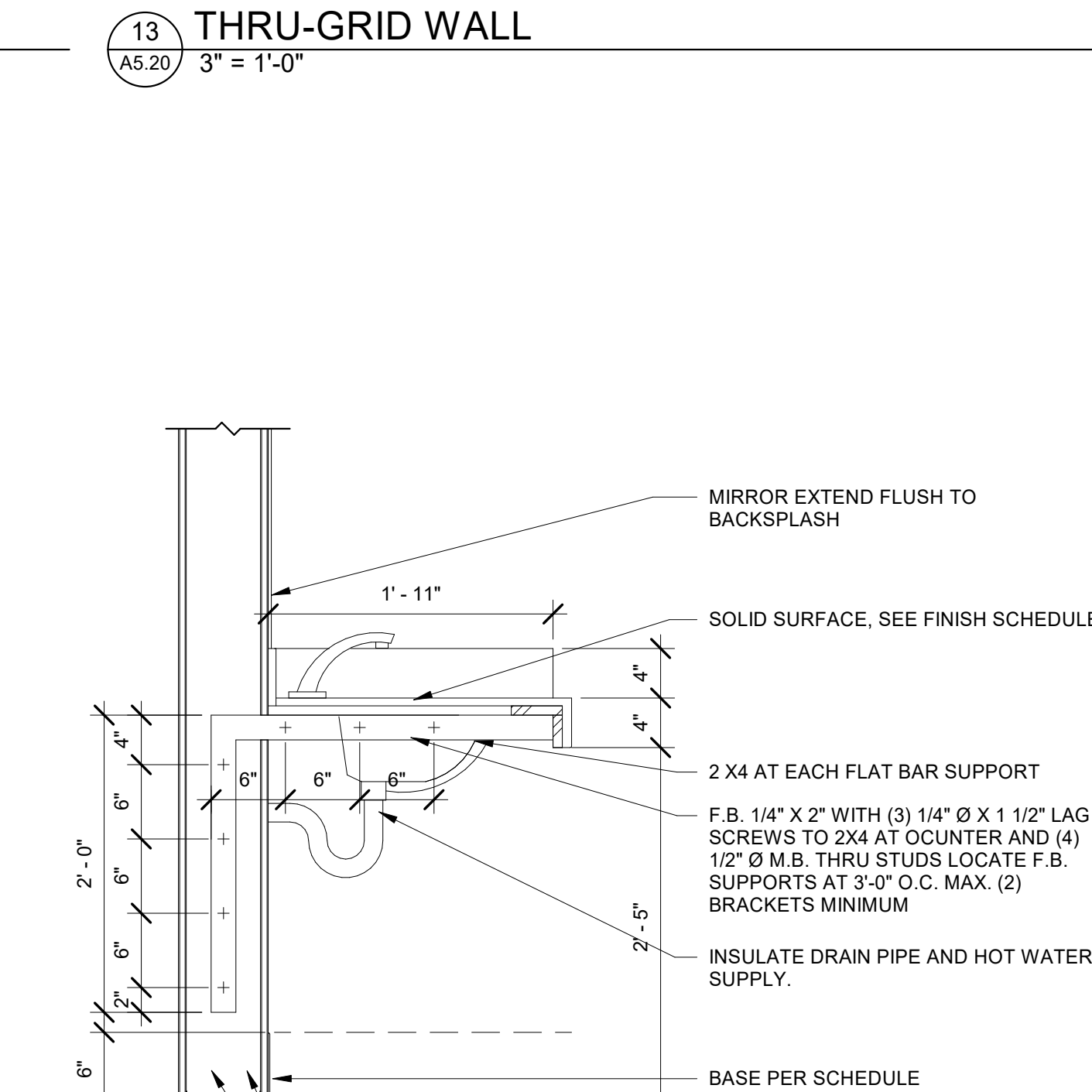
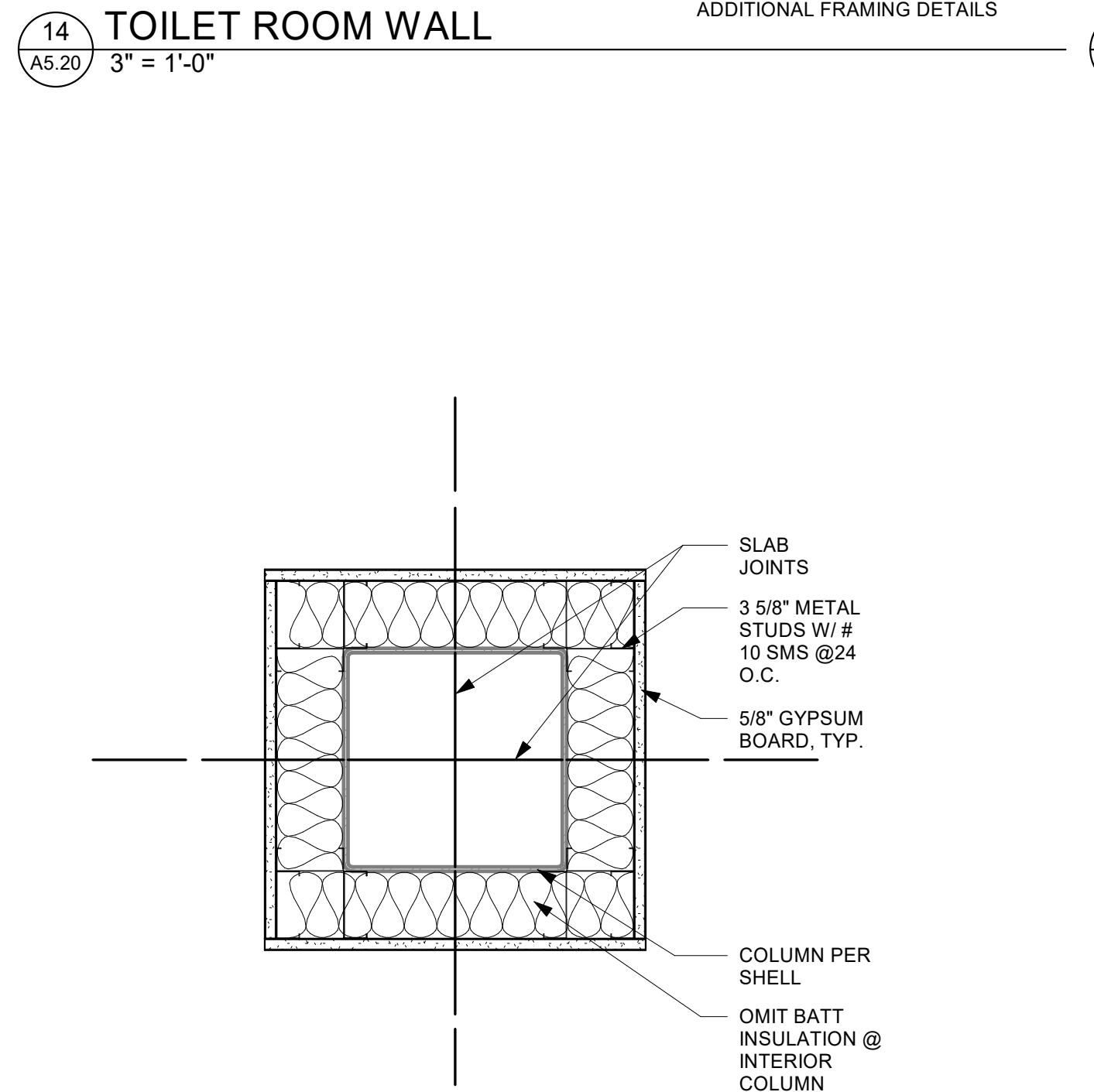
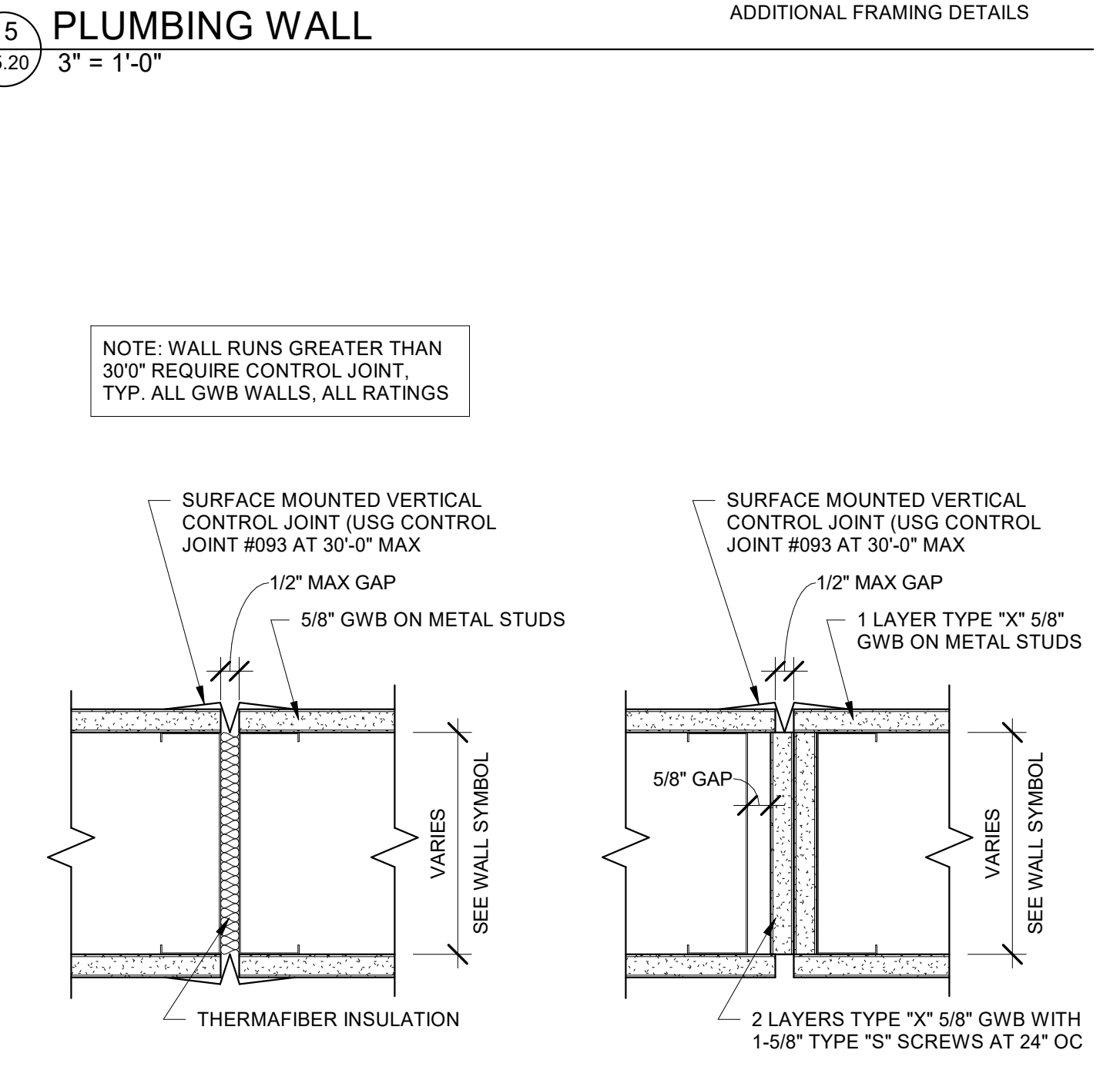
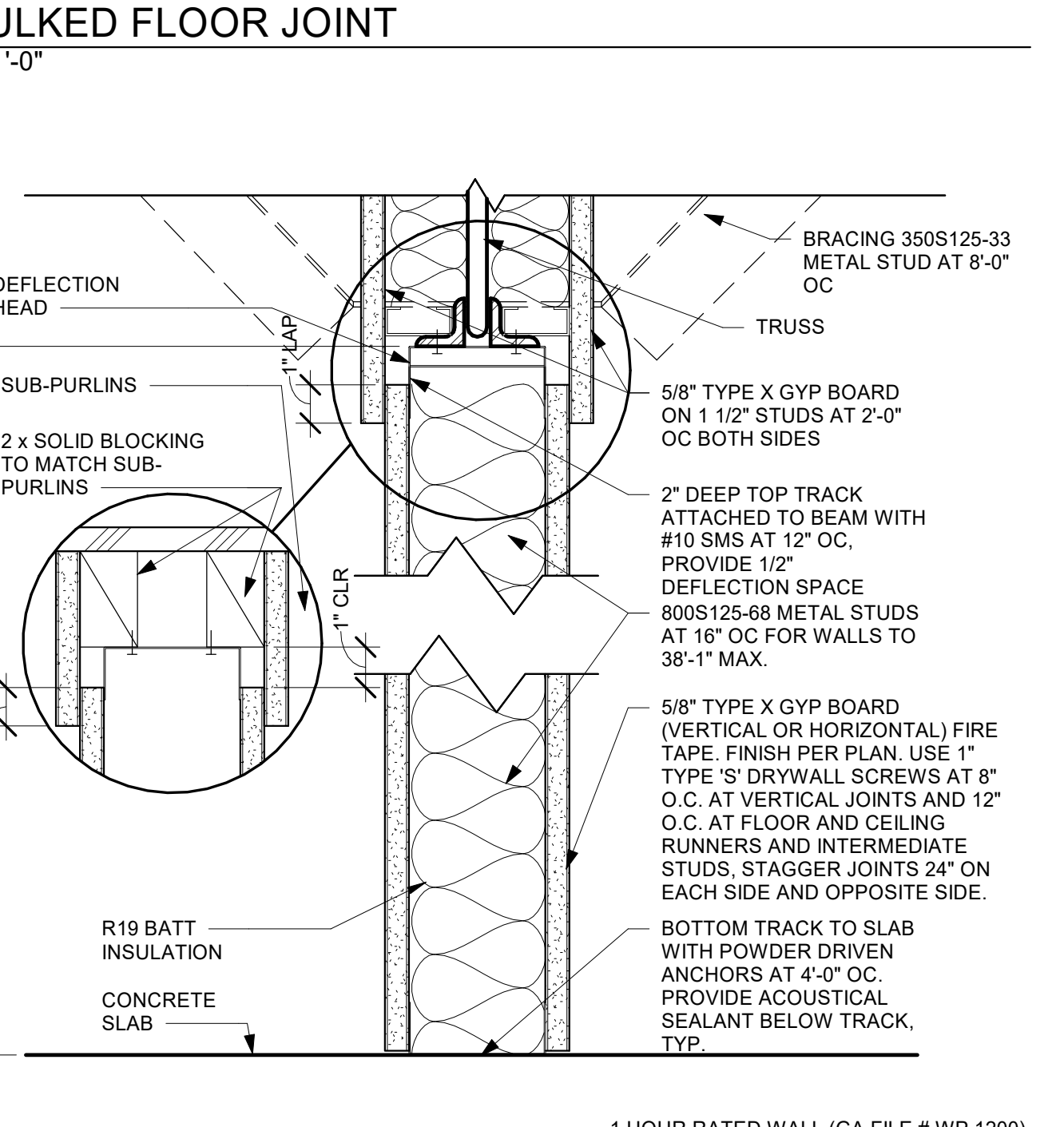
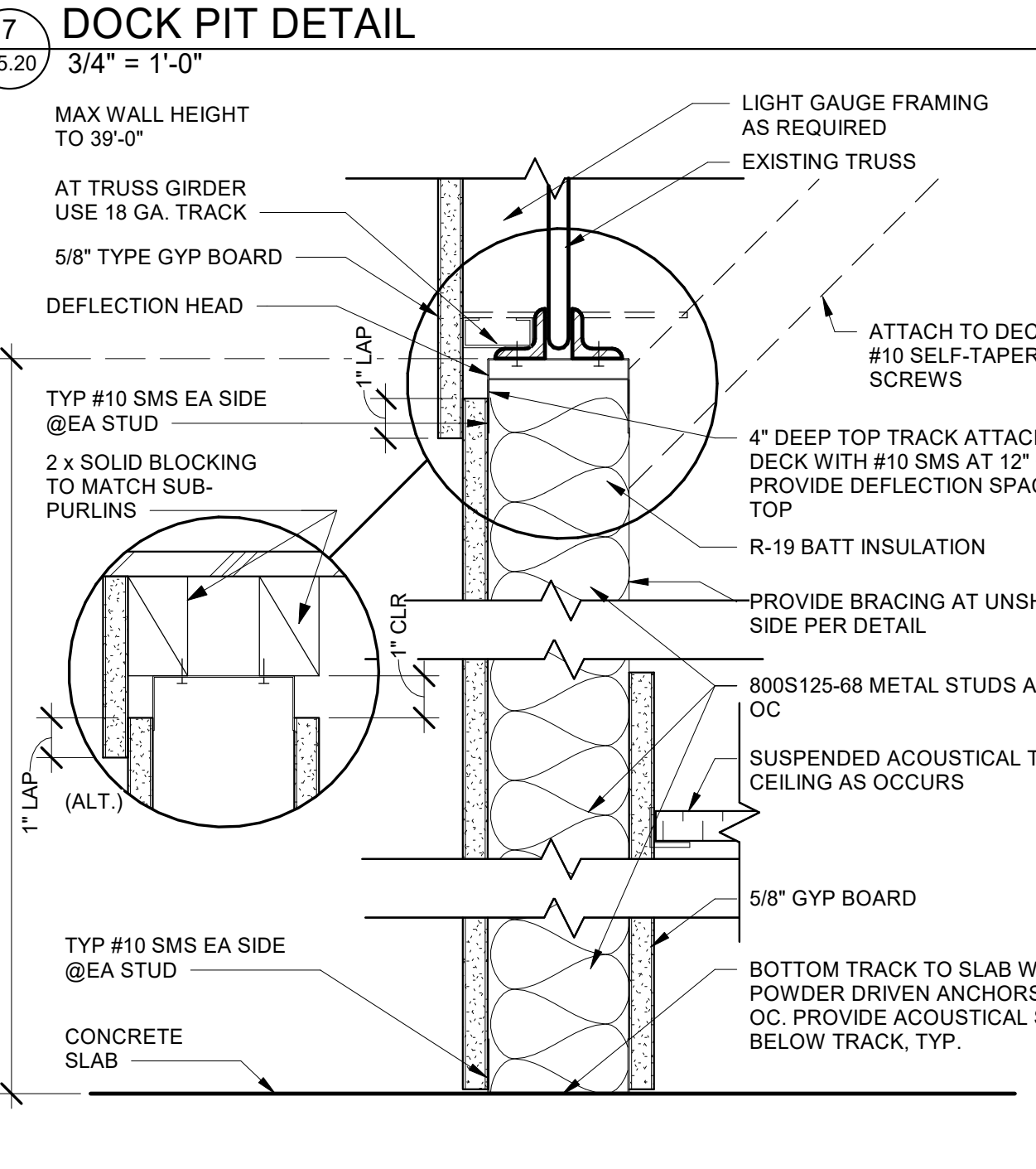
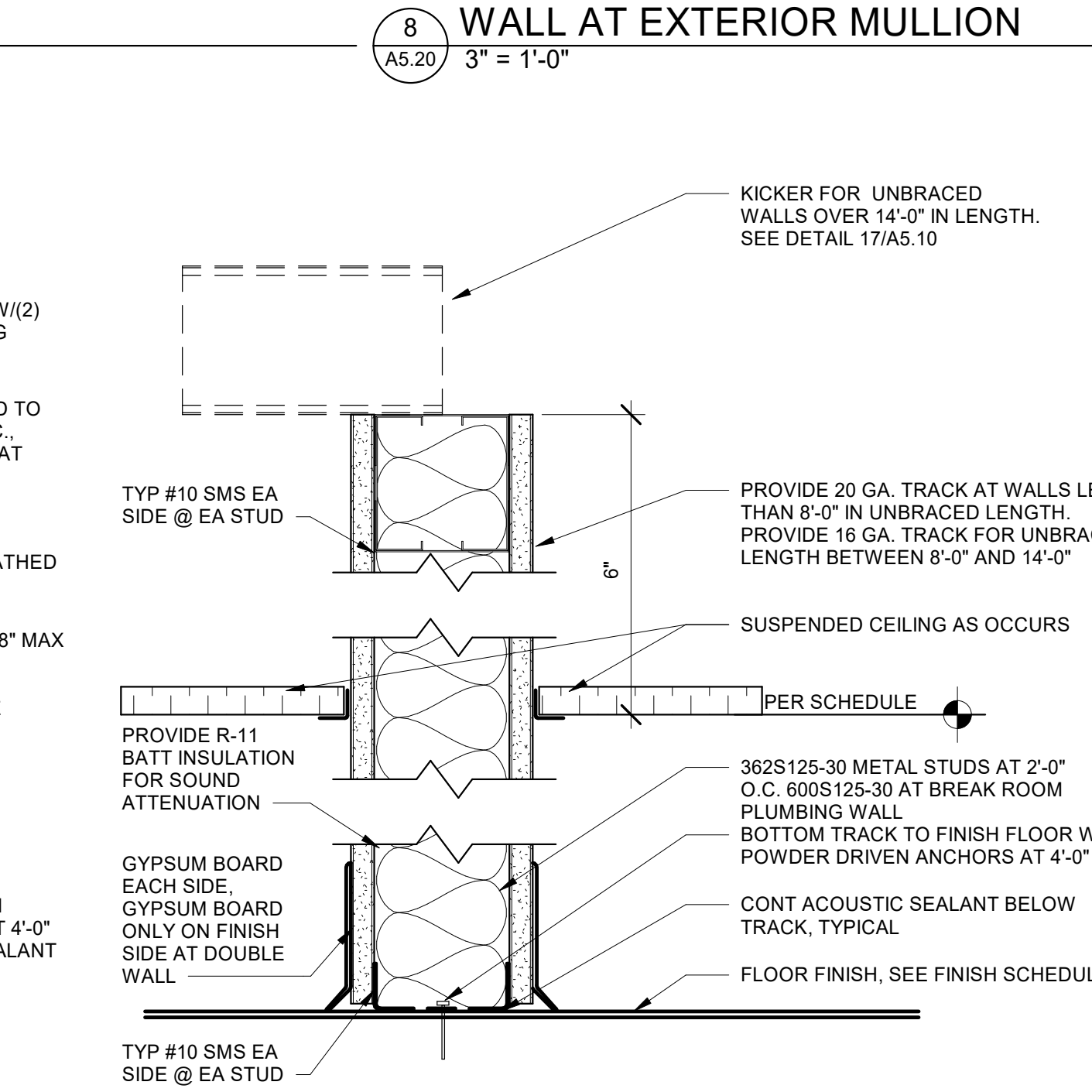
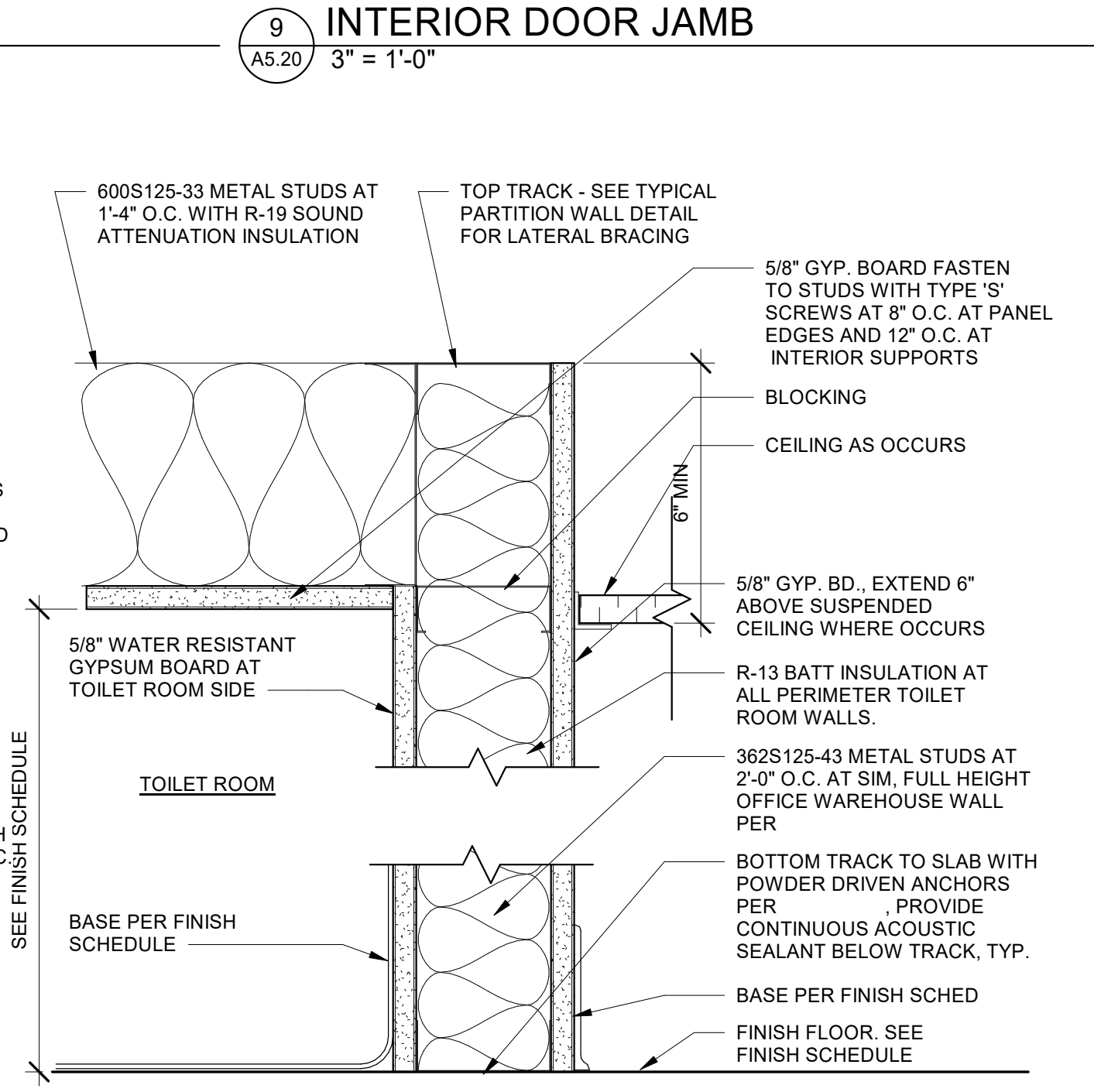
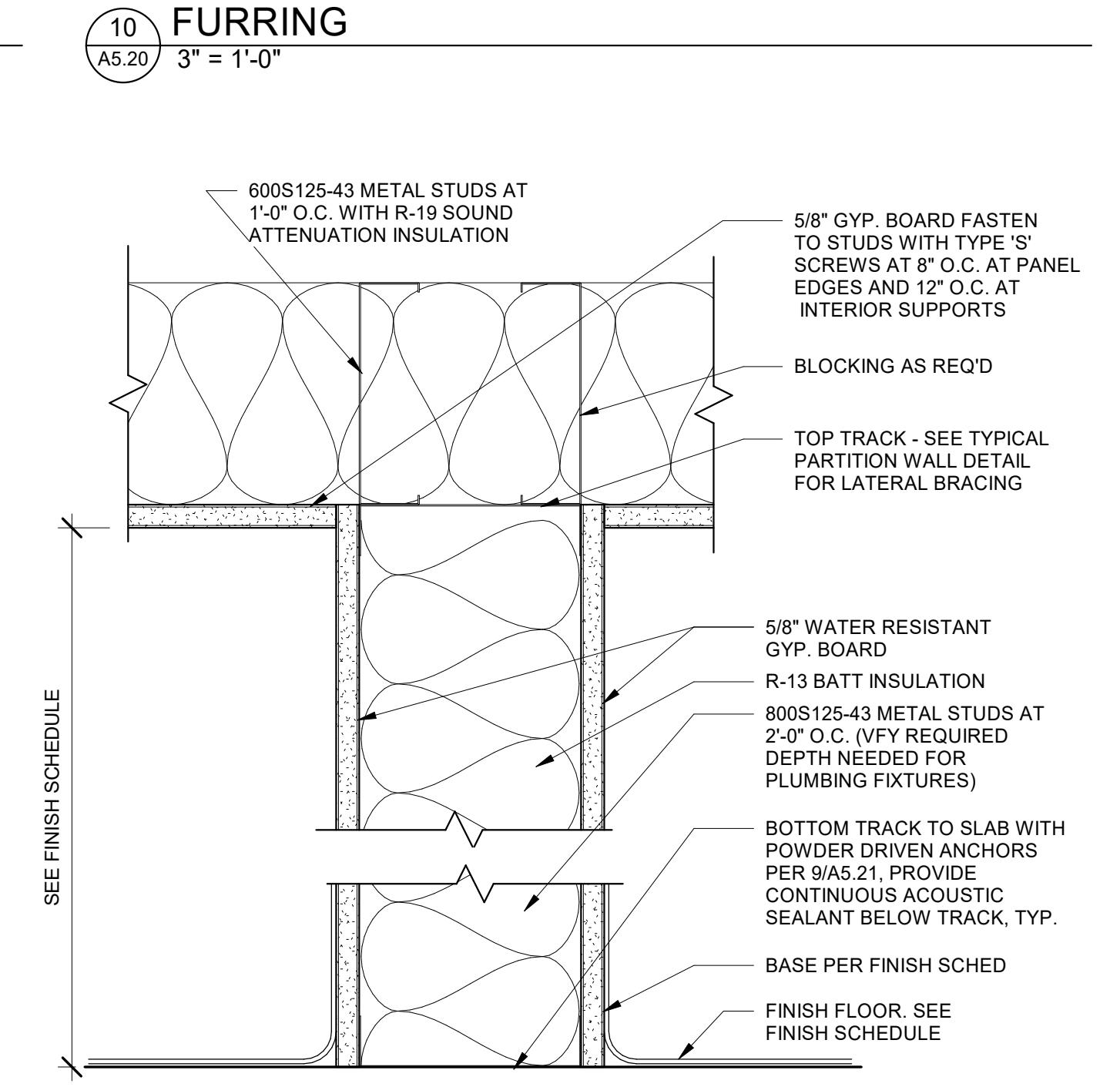
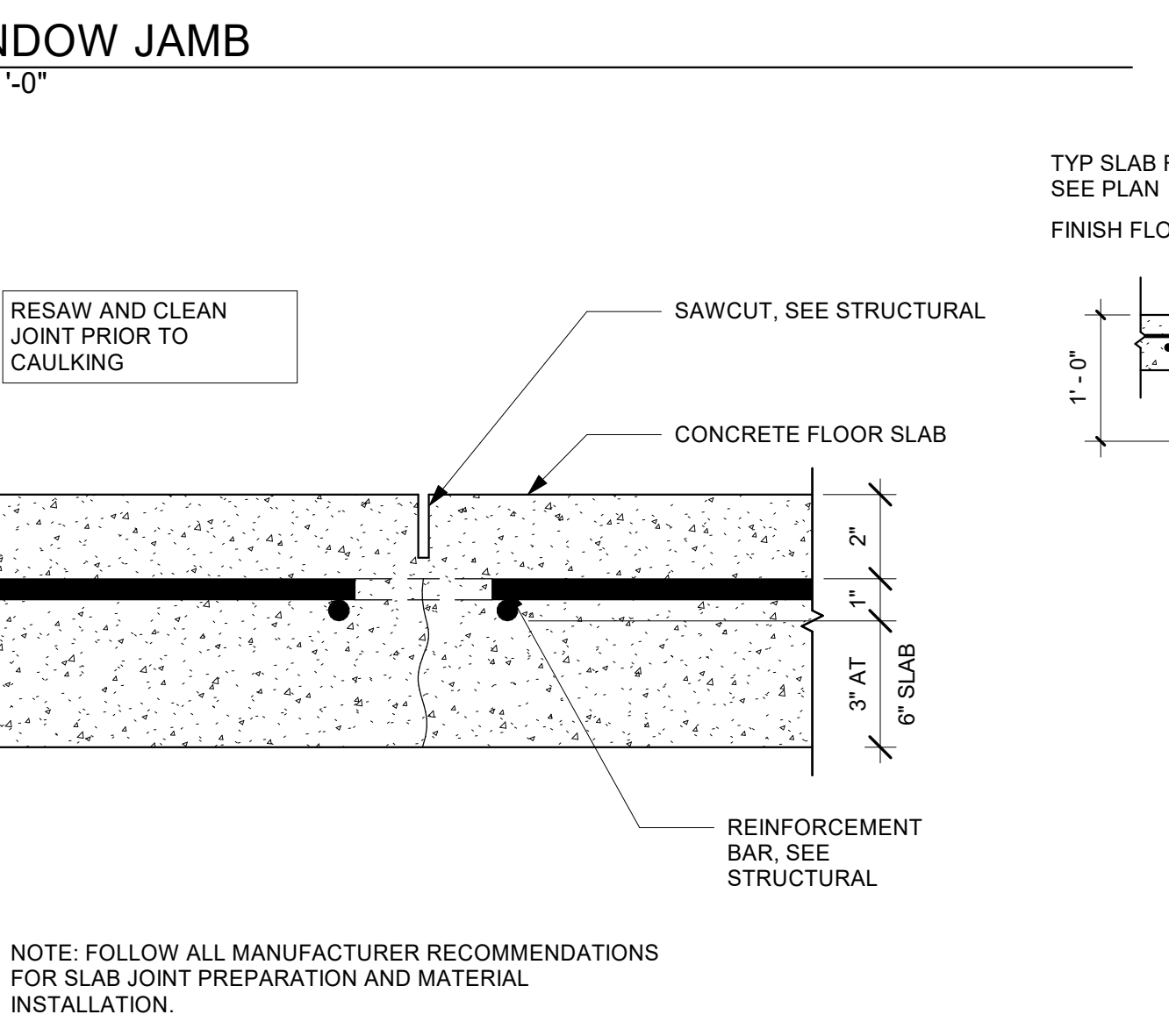
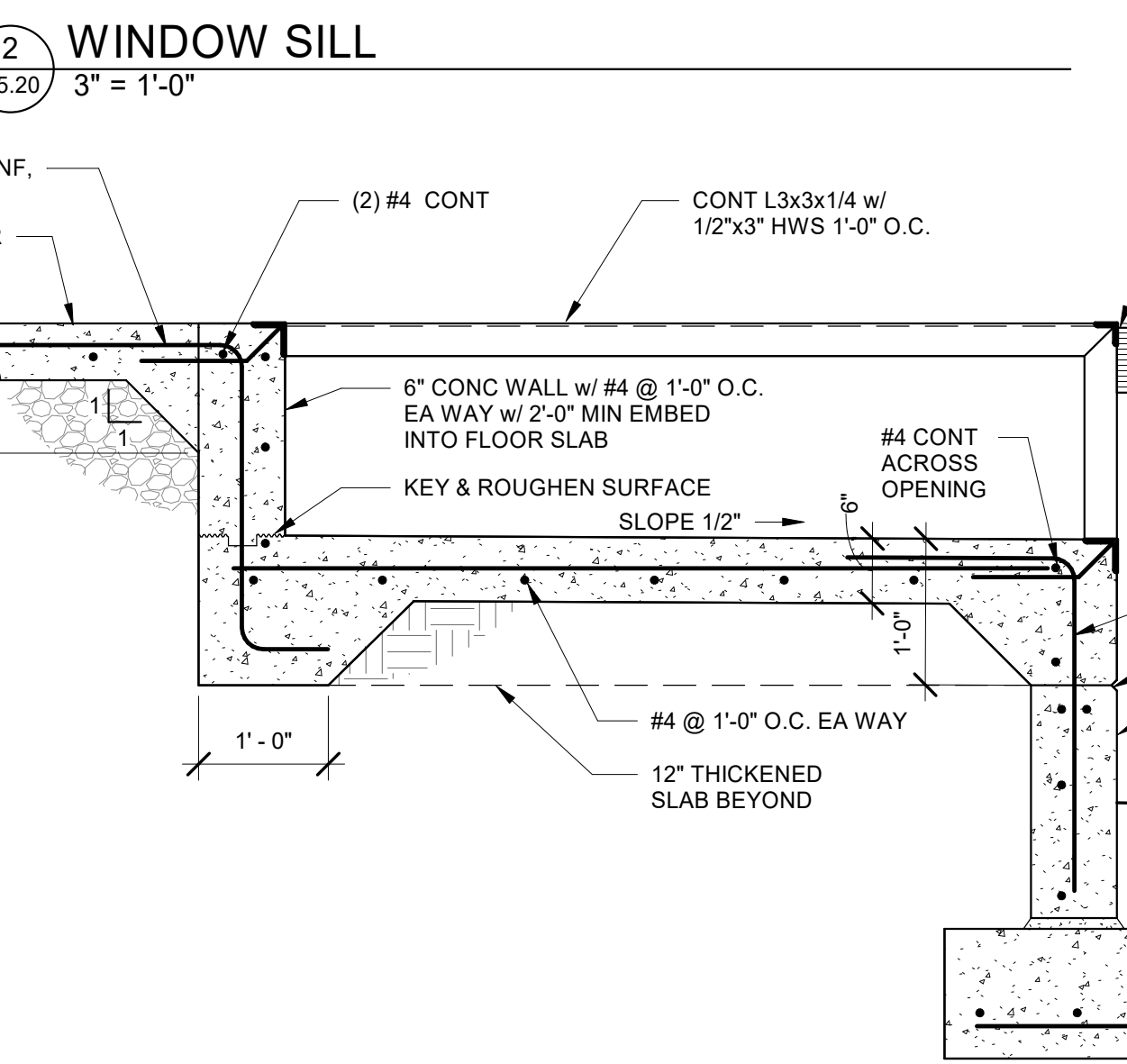
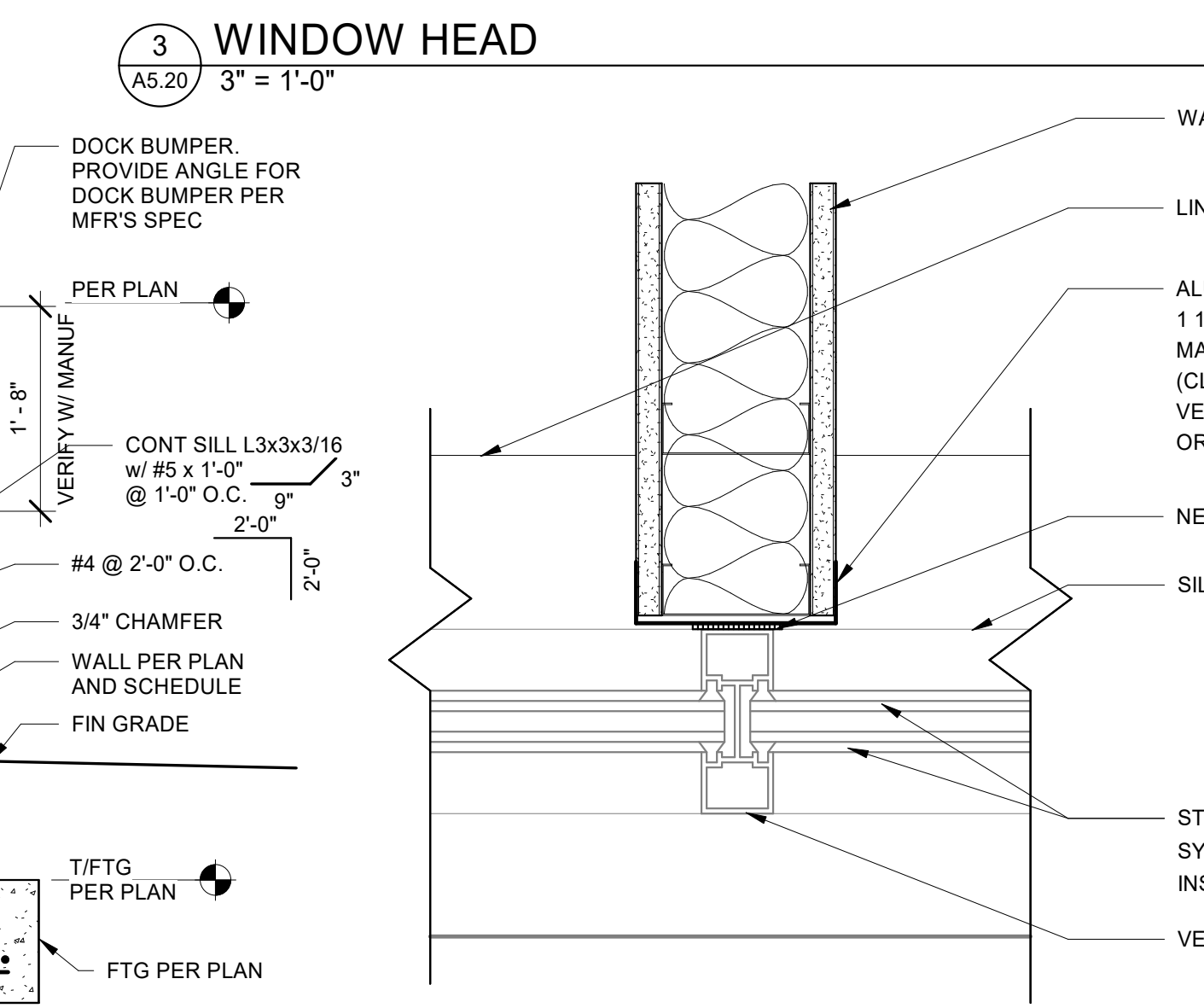
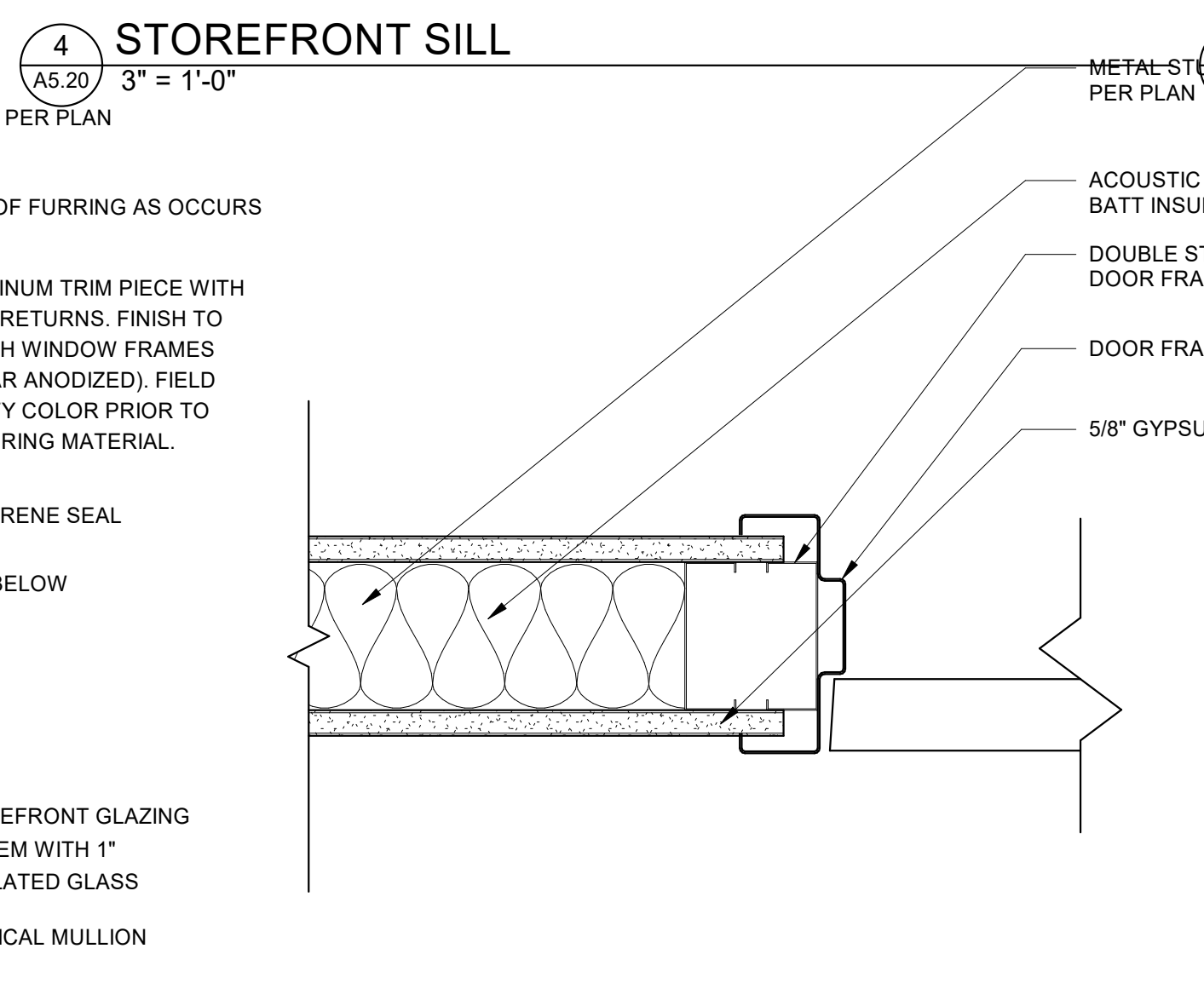
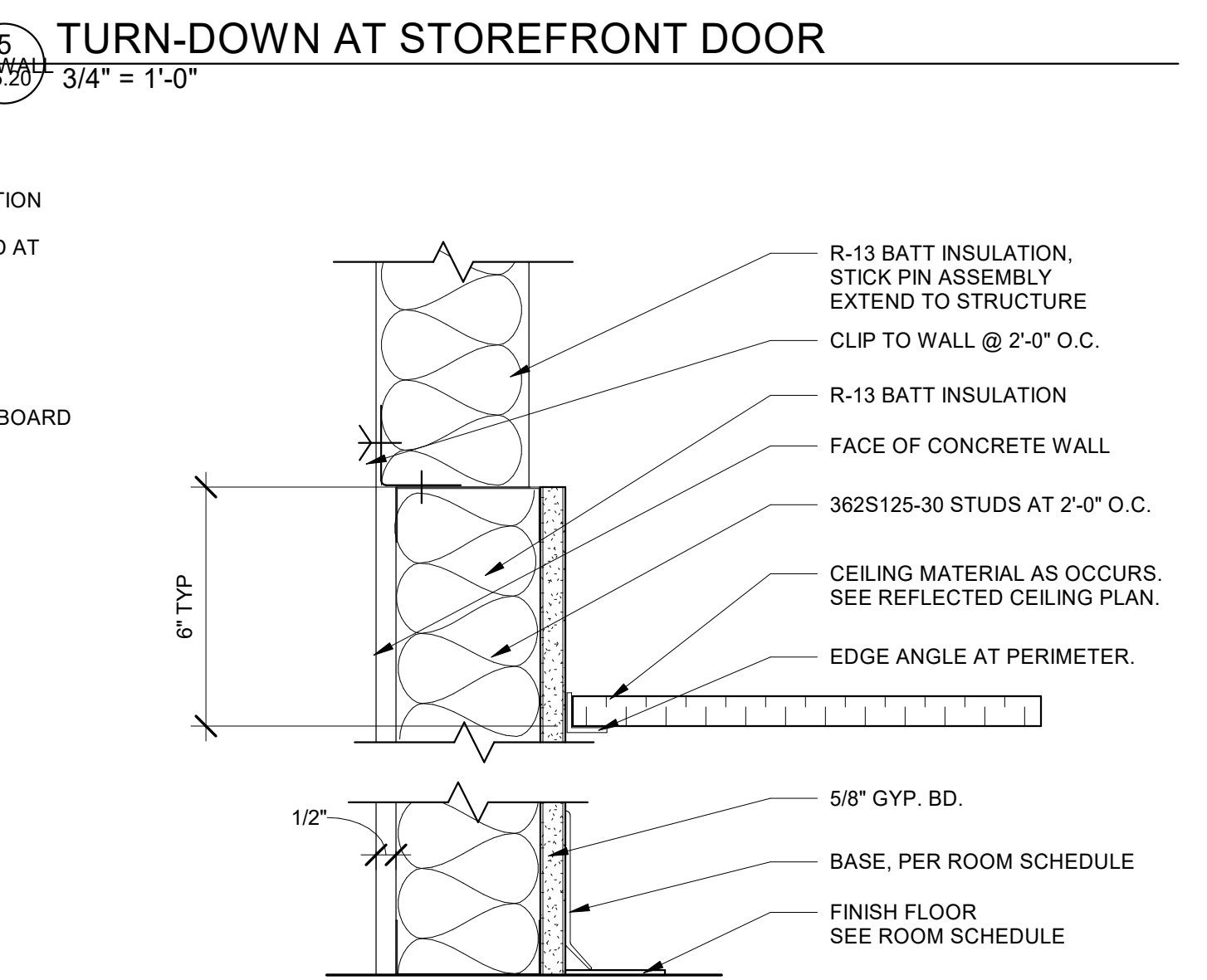
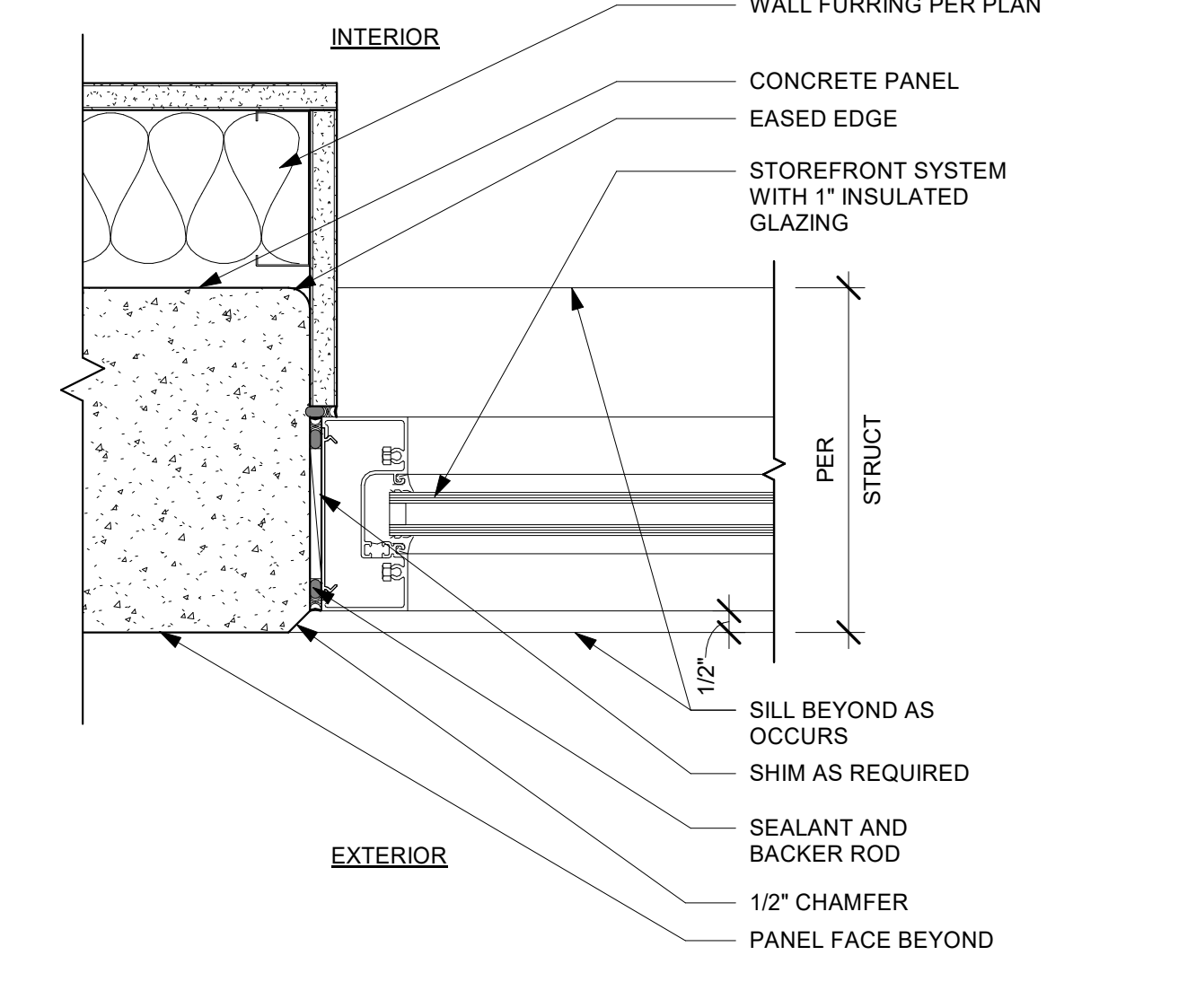
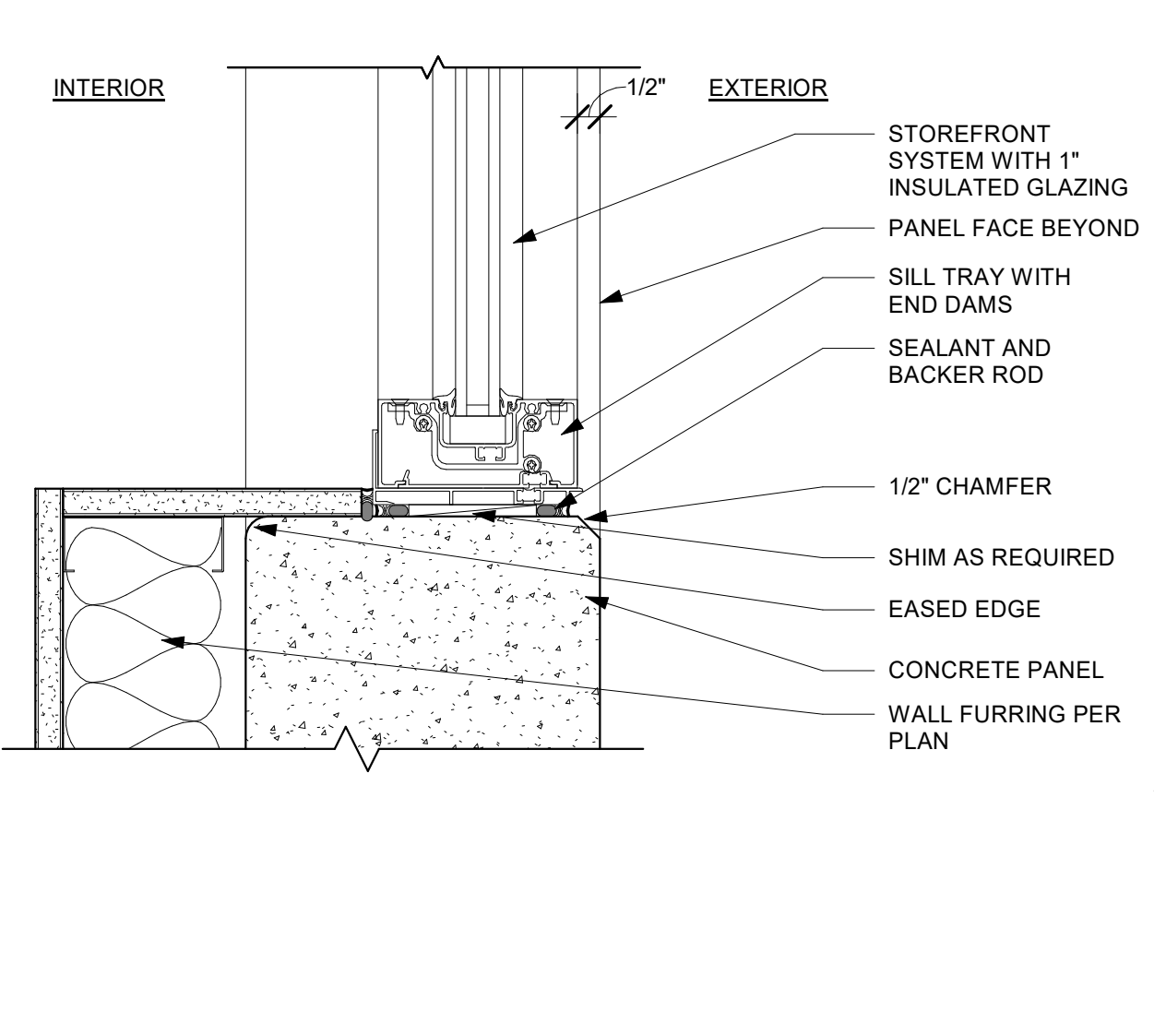
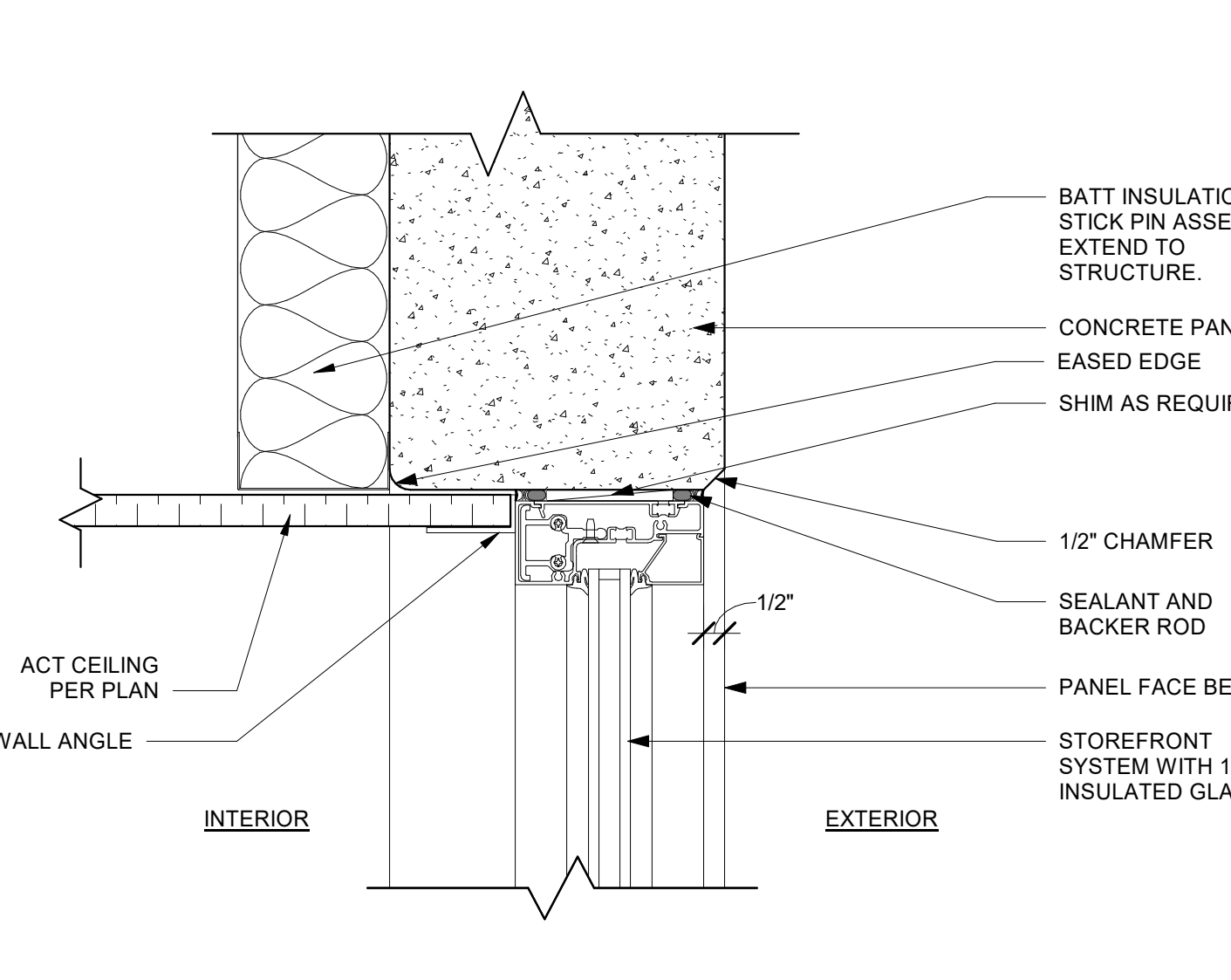
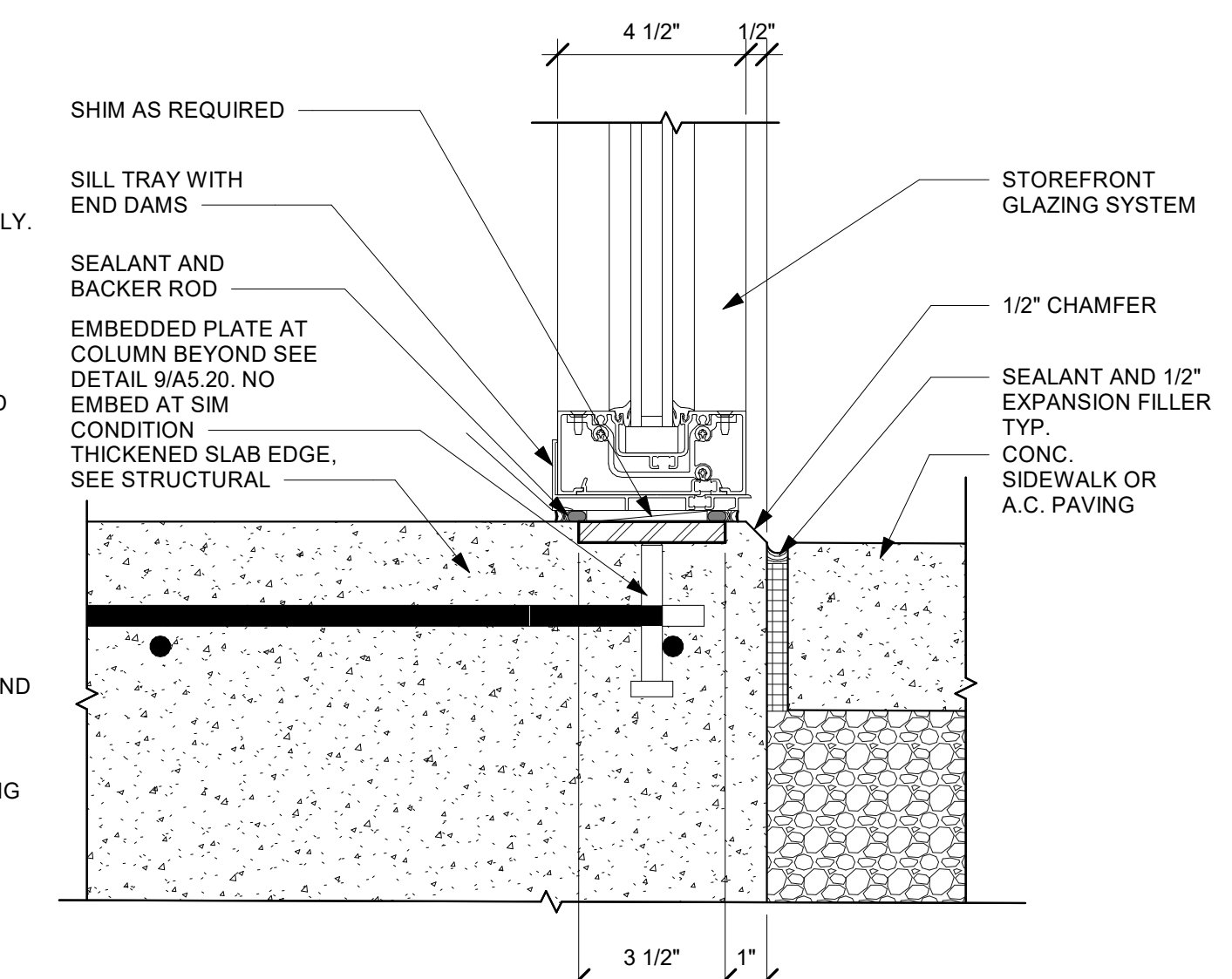
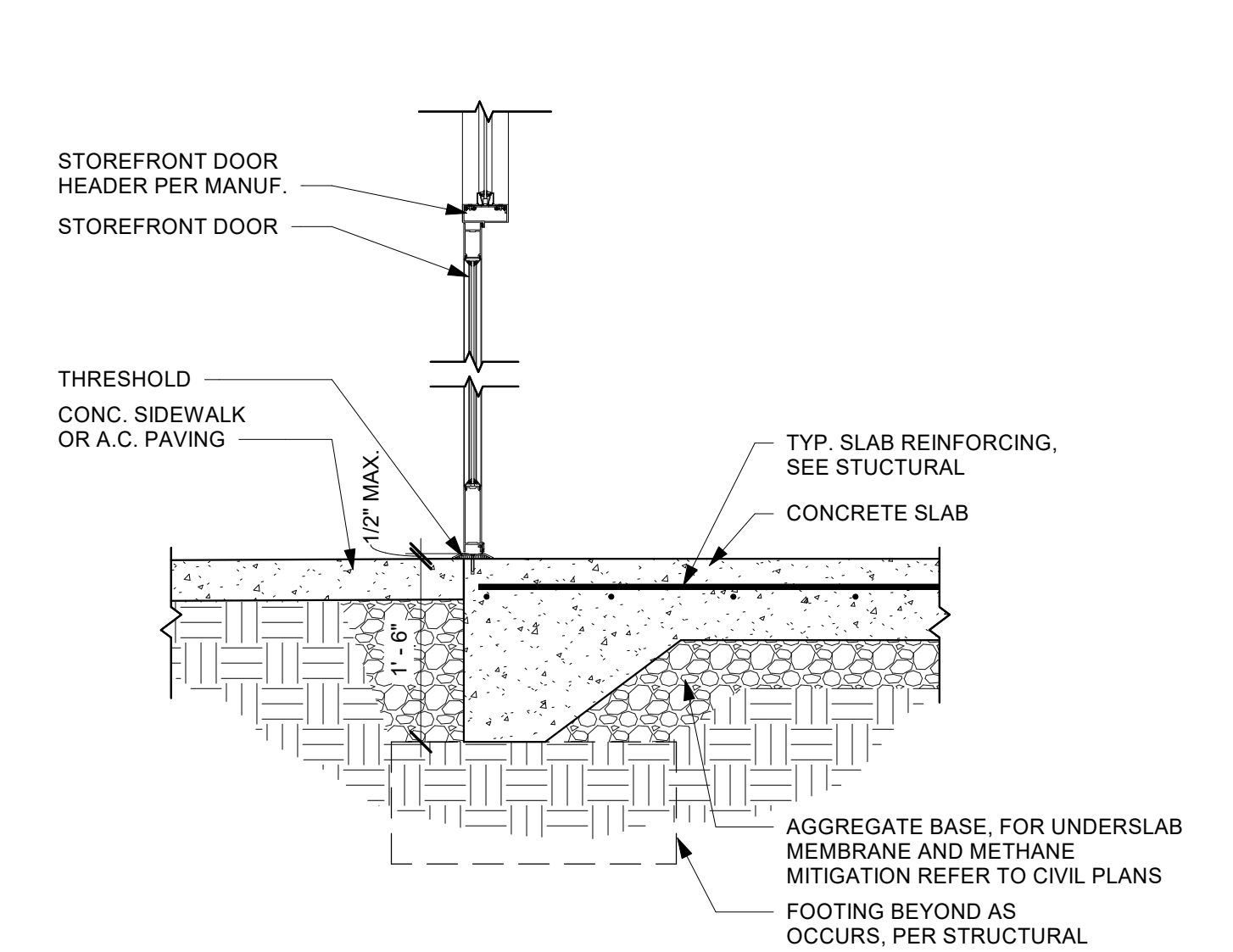
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Delta	Issued As	Issue Date

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STOREFRONT & INTERIOR DETAILS

DRAWN BY: Author
 CHECKED BY: Checker
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A5.20

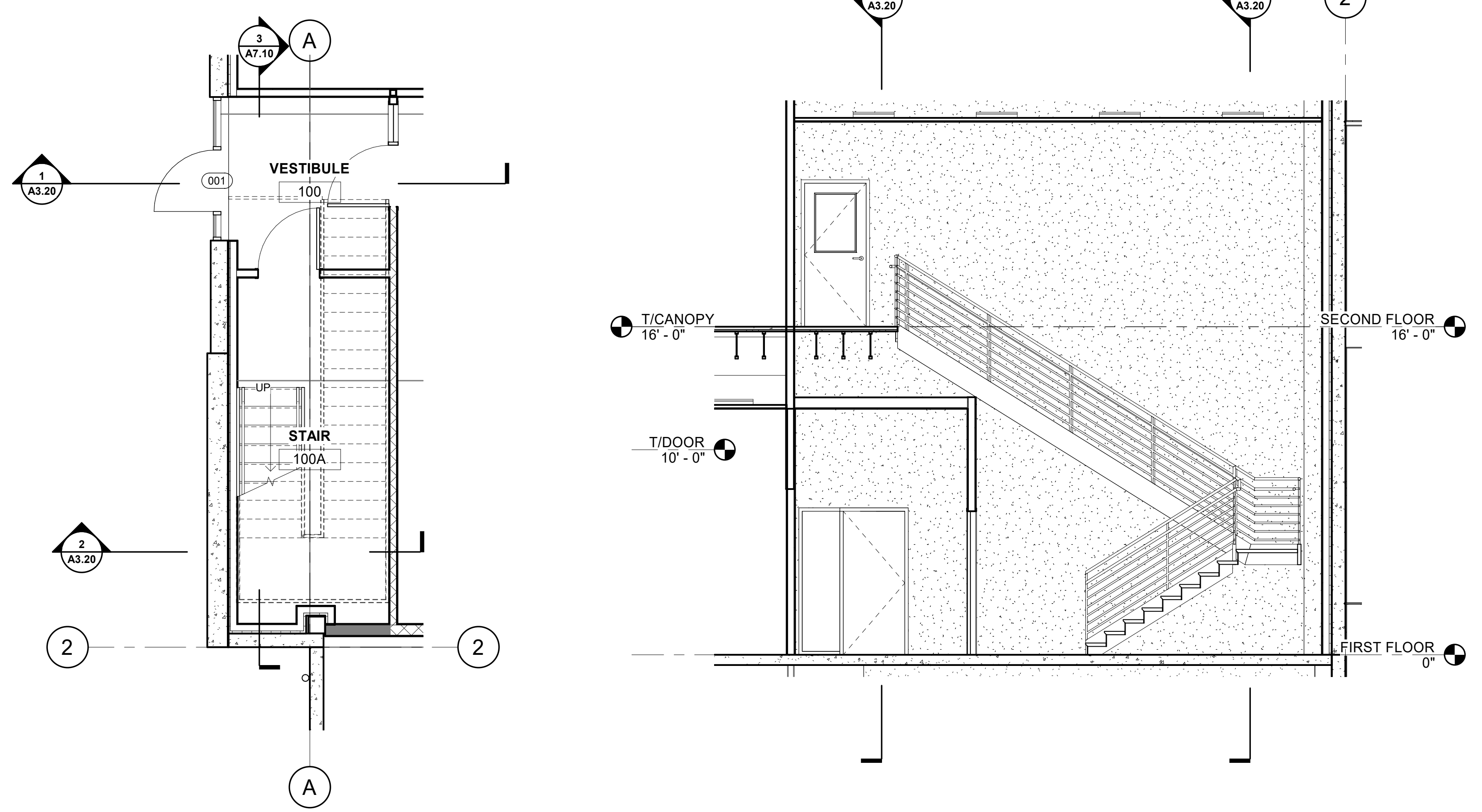
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NON-RATED
 WALL AT 1 HR TO BE UL U404

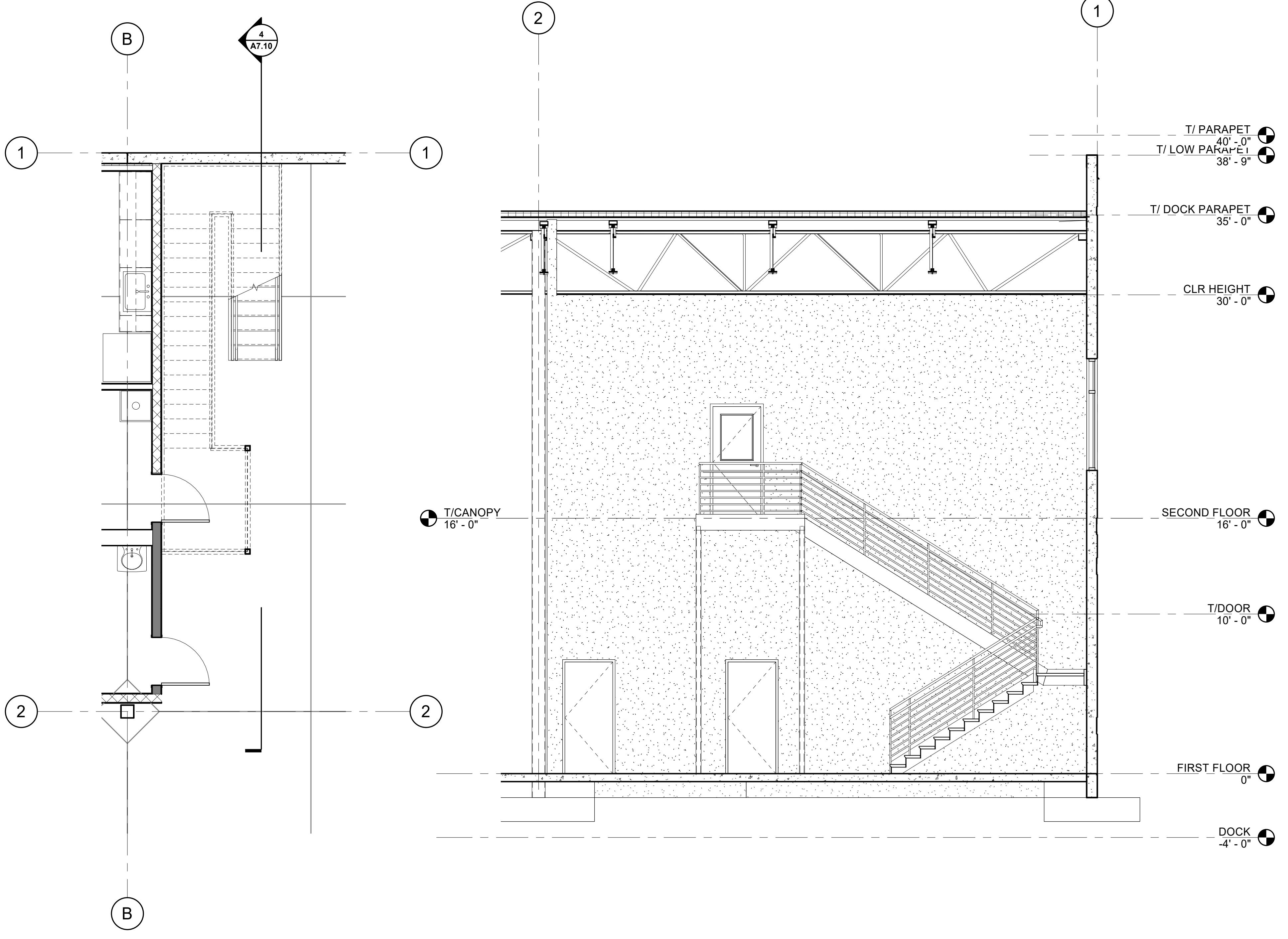
1 HR-RATED
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LAND USE RESUBMITTAL 07/26/22



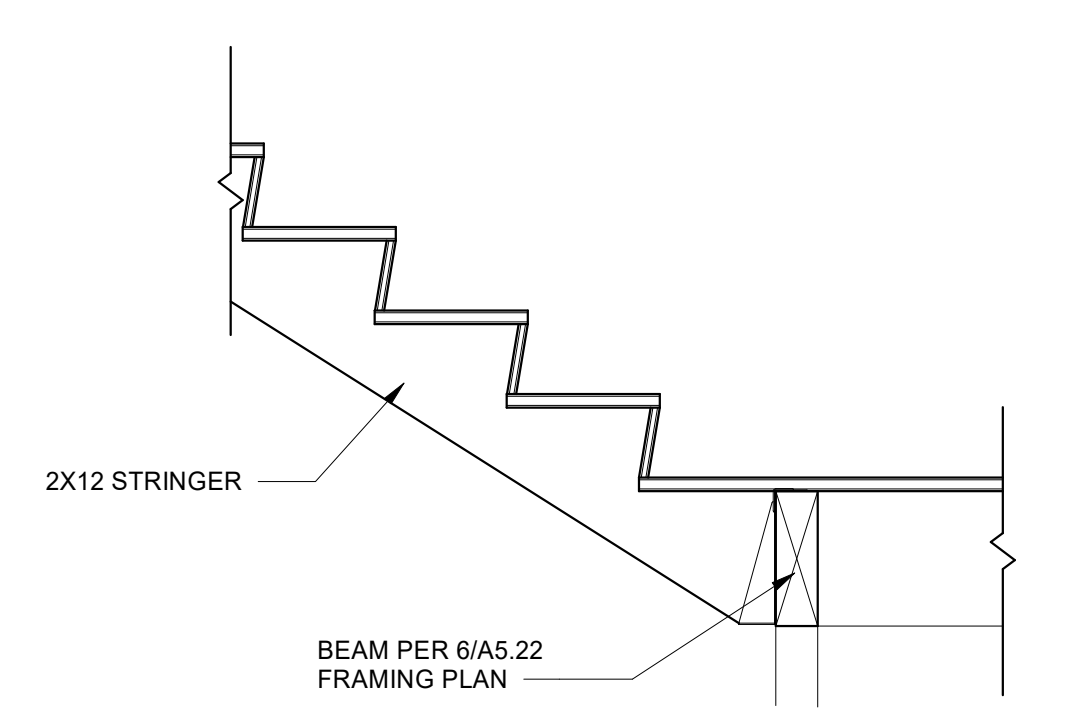
1 MAIN STAIR - ENLARGED PLAN
 A7.10 1/4" = 1'-0"

3 MAIN STAIR - SECTION
 A7.10 1/4" = 1'-0"

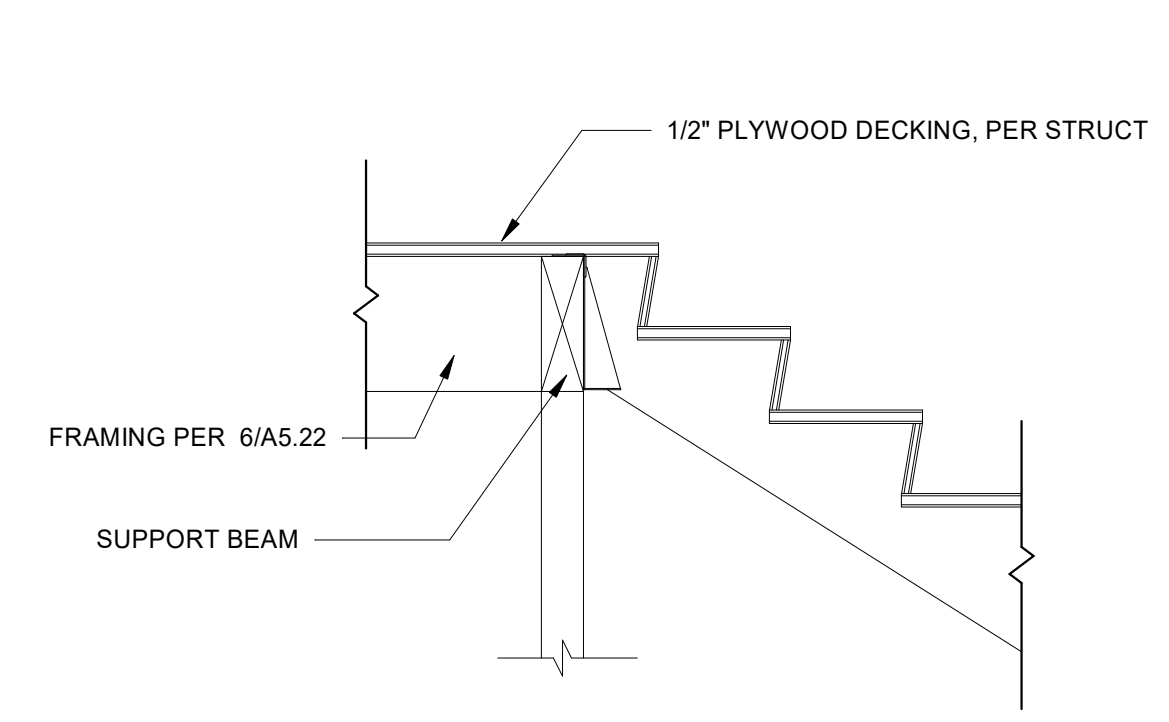


2 WAREHOUSE STAIR - ENLARGED PLAN
 A7.10 1/4" = 1'-0"

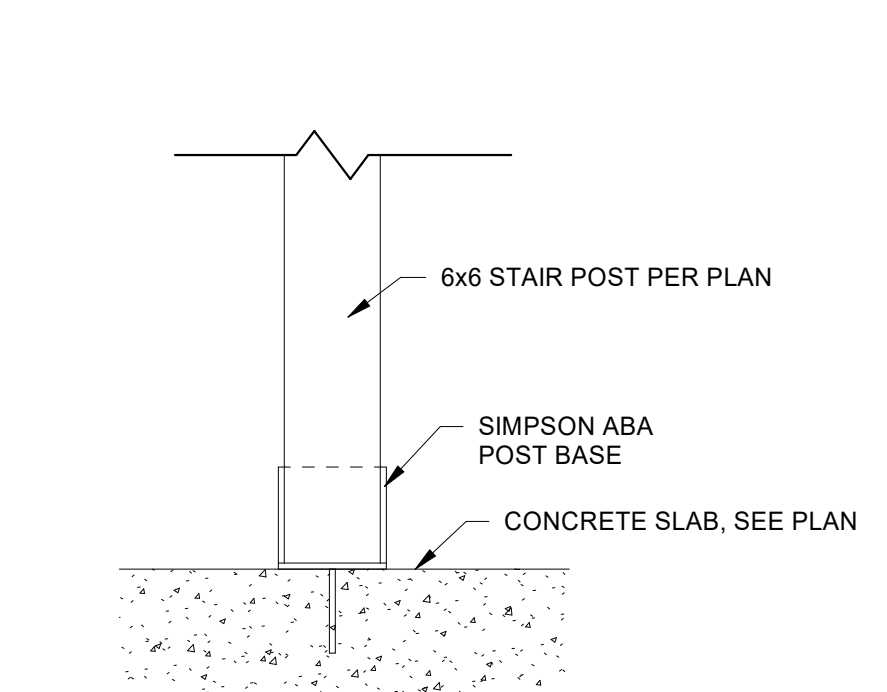
4 WAREHOUSE STAIR - SECTION
 A7.10 1/4" = 1'-0"



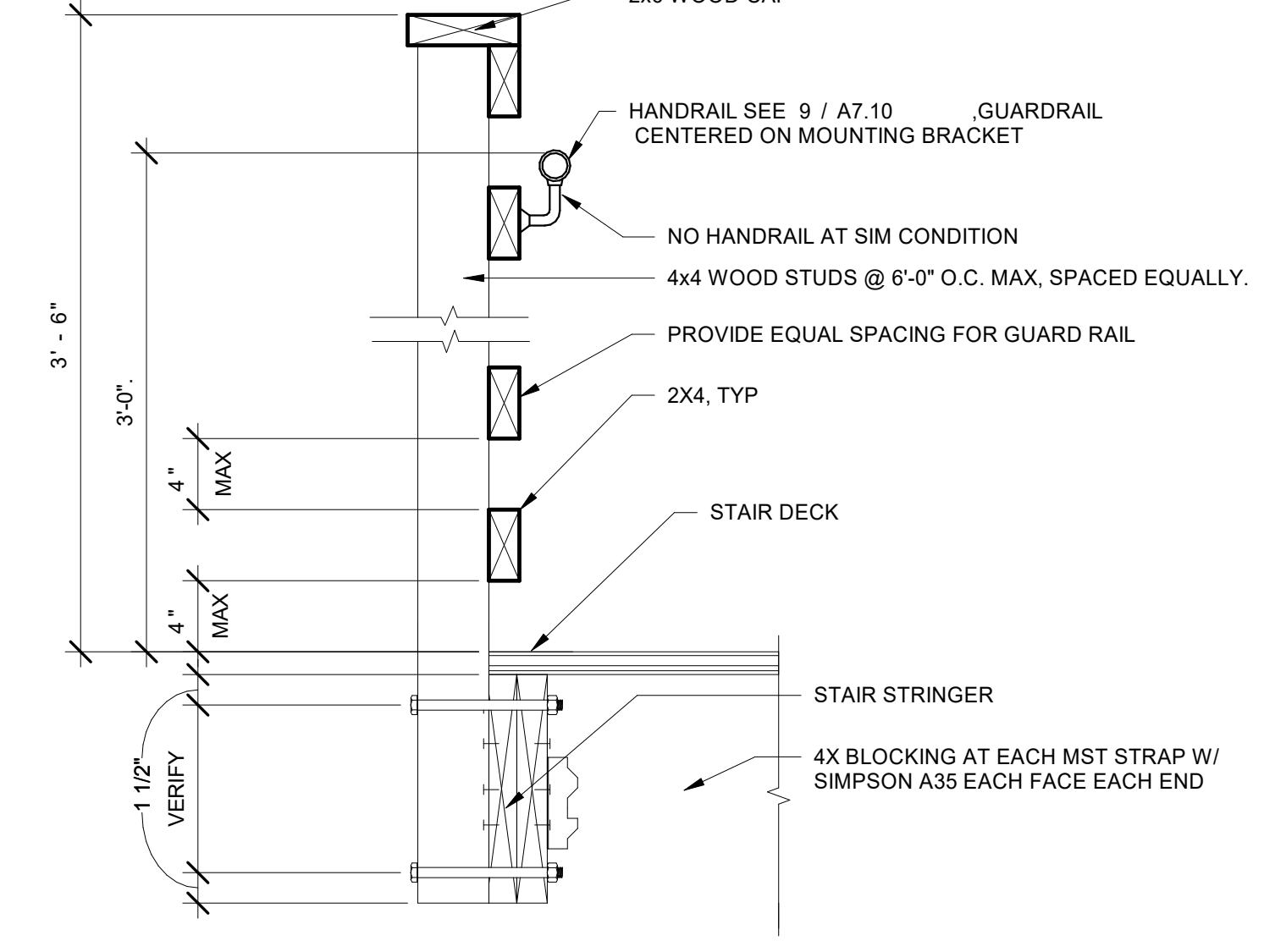
5 STAIR AT MID-LANDING
 A7.10 3/4" = 1'-0"



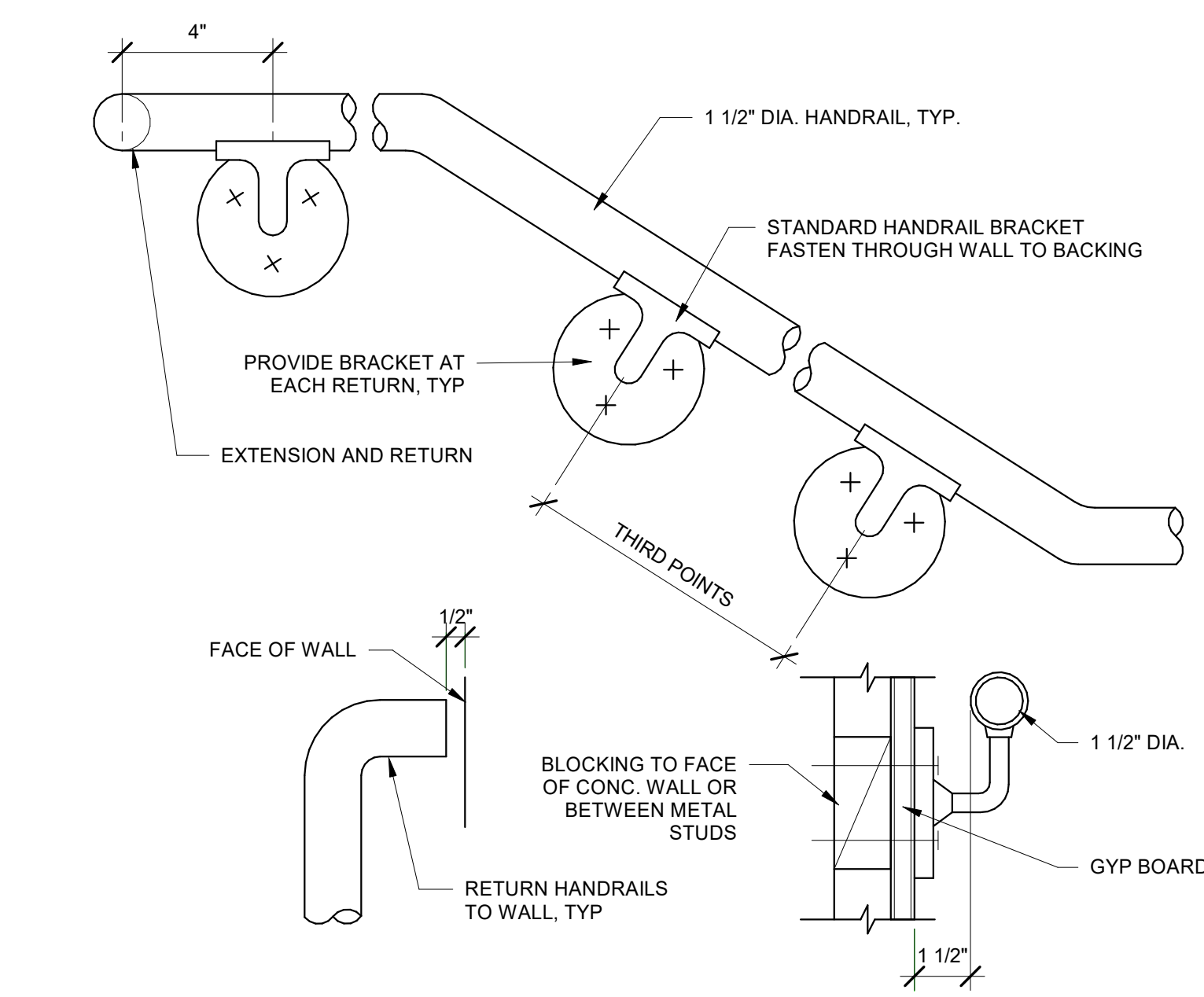
6 STAIR AT TOP LANDING
 A7.10 3/4" = 1'-0"



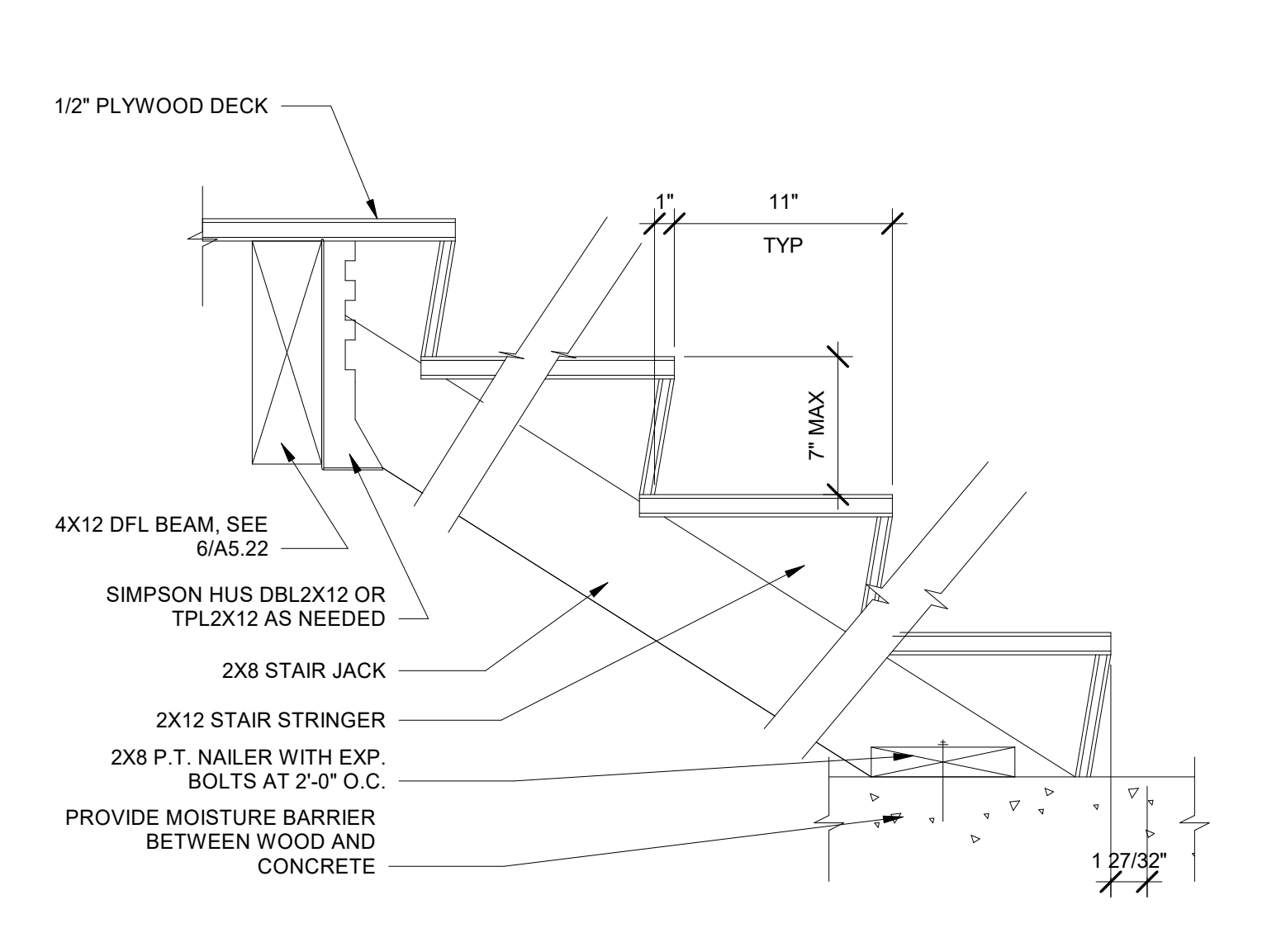
7 STAIR POST DETAIL
 A7.10 1 1/2" = 1'-0"



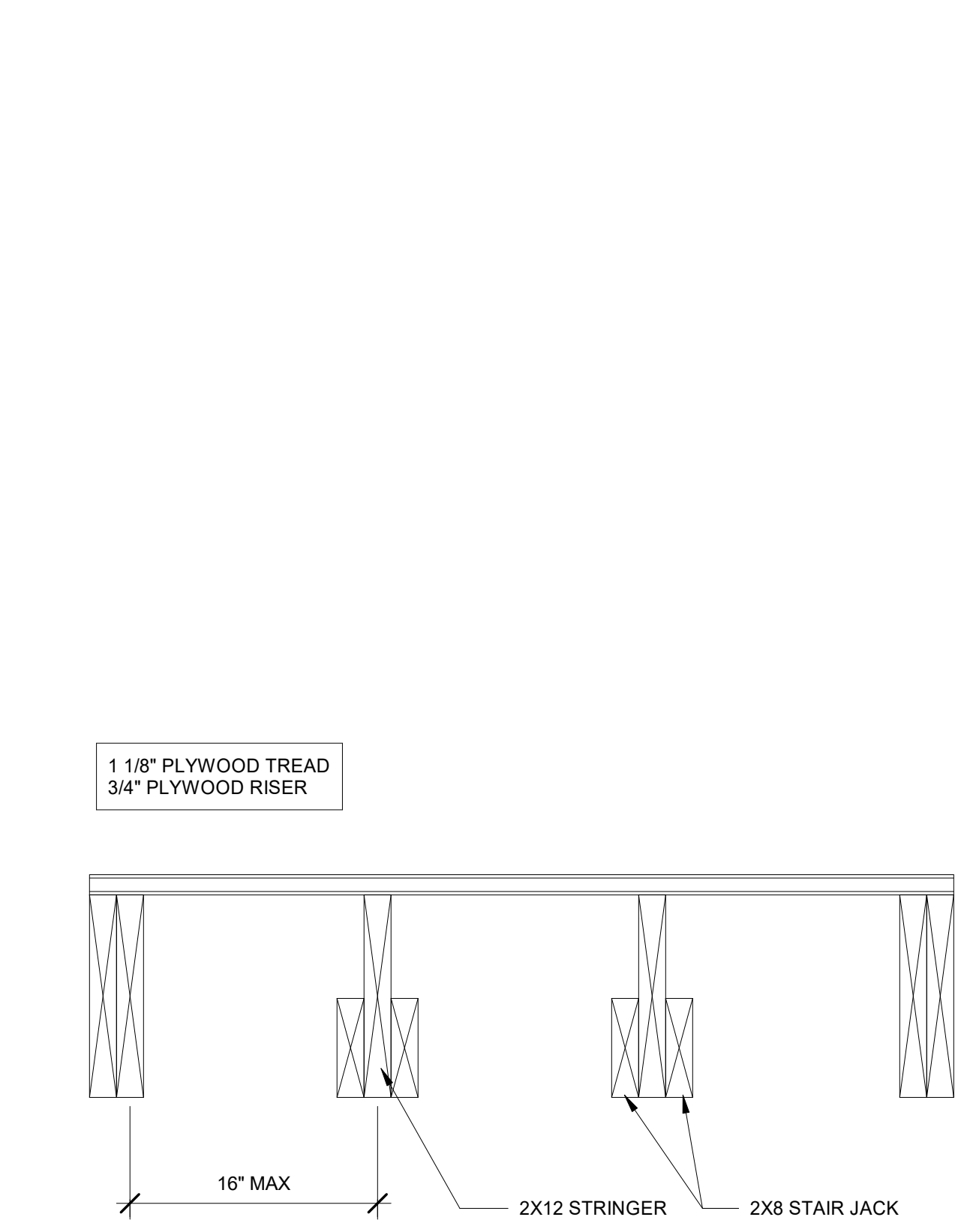
8 STAIRWAY GUARDRAIL
 A7.10 1 1/2" = 1'-0"



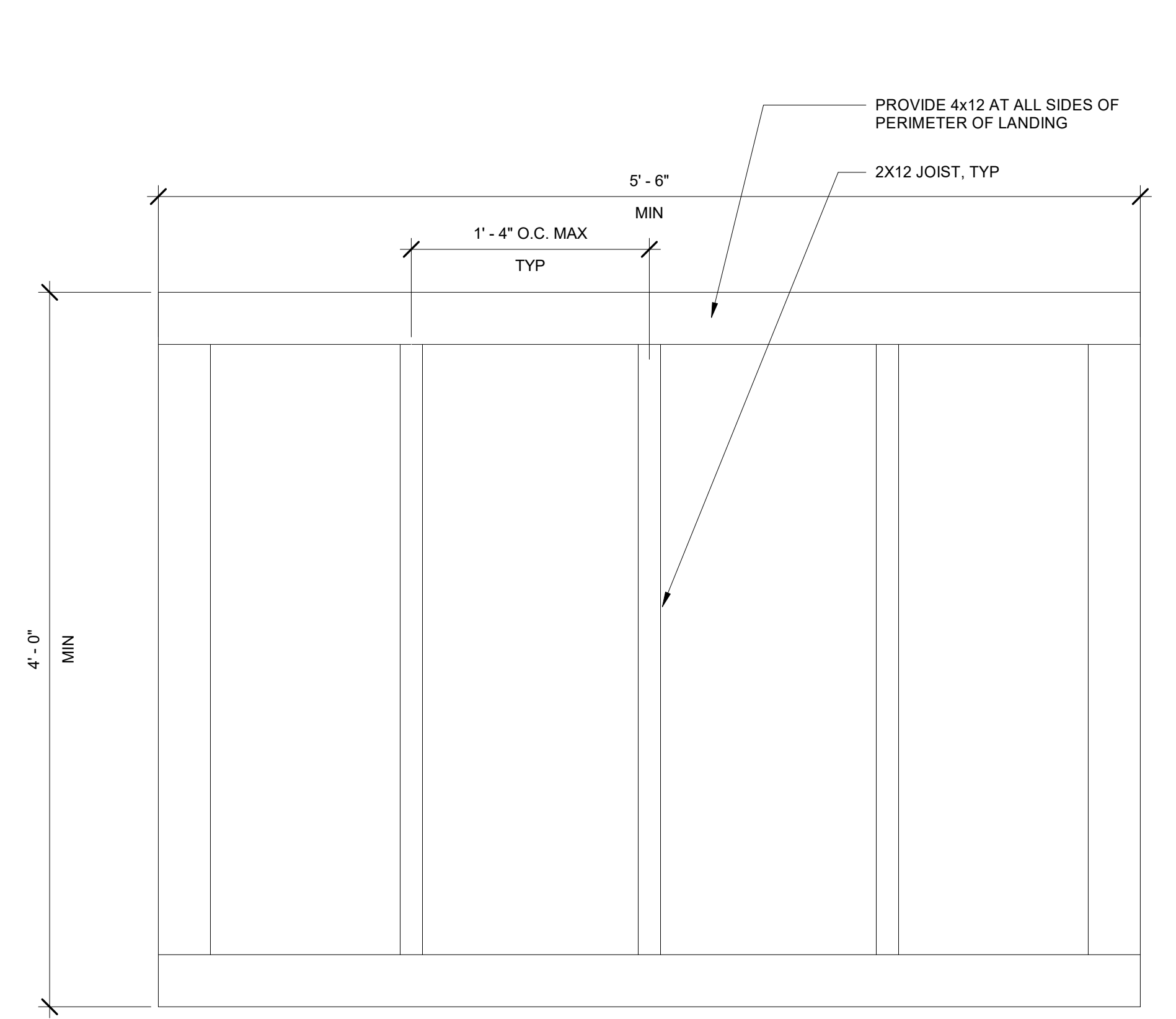
9 TYPICAL HANDRAIL
 A7.10 3" = 1'-0"



10 TYPICAL STAIR TREAD RISER
 A7.10 1 1/2" = 1'-0"



11 TYPICAL STAIR TREAD SECTION
 A7.10 1 1/2" = 1'-0"



12 TYPICAL STAIR LANDING FRAME
 A7.10 1 1/2" = 1'-0"

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
STAIR PLANS

DRAWN BY: Author
 CHECKED BY: Checker
 SHEET

A7.10

JOB NO. **2200502.00**